

SITE PLAN
1" = 10'-0"



GENERAL SITE NOTES

1. SEE BUILDER FOR ALL EXTERIOR FLATWORK LOCATIONS.
2. SEE BUILDER FOR ALL YARDWALL LOCATIONS.
3. PROVIDE SILT FENCING @ PROPERTY LINES FOR DURATION OF CONSTRUCTION OR UNTIL SITE WALLS ARE BUILT.
4. UTILITIES SHALL BE LOCATED IN SHARED TRENCHES WHEREVER POSSIBLE.
5. LIMITS OF CLEARING & GRADING SHALL BE THE PROPERTY LINES OR +/- 15' FROM PERIMETER OF HOME (SEE PLAN).
6. PROVIDE PERMEABLE DRIVEWAY AND WALKWAY SURFACES WHERE POSSIBLE; FOR CITY LOTS, INFILL LOTS AND MASTER PLANNED COMMUNITIES & SUBDIVISIONS, ALL DRIVEWAY MATERIALS SHALL BE BUILT AS PER ZONING CODE OR COVENANTS, CONTRACTOR SHALL CONFIRM PRIOR TO CONSTRUCTION.
7. "NO DISTURBANCE" ZONES SHALL BE CREATED w/ FENCING OR FLAGGING, AND LABELED AS SUCH IN ORDER TO PROTECT VEGETATION AND SENSITIVE AREAS ON THE LOT FROM CONSTRUCTION ACTIVITY.
8. FINISHED GRADE AT ALL SIDES OF THE BUILDING SHALL BE SLOPED TO PROVIDE A MINIMUM OF 6" (150MM) OF FALL WITHIN 10' (3048MM) OF THE EDGE OF THE BUILDING, WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6" (150MM) OF FALL WITHIN 10' (3048 MM), THE FINAL GRADE SHALL BE SLOPED AWAY FROM THE EDGE OF THE BUILDING AT A MINIMUM SLOPE OF 2%.
9. SPECIFICATIONS OF ANY SOILS REPORT OR GRADING DESIGN FOR THIS PROPERTY SHALL TAKE PRECEDENCE OVER ANY SPECIFICATIONS IN THIS SET OF DRAWINGS.
10. SEE BUILDER FOR PREFERRED METHOD OF SOIL GAS MITIGATION.
11. ALL COLORS AND MATERIALS SHALL BE DESIGNATED PER ANY APPLICABLE ASSOCIATIONS.

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PROJECT DATA

PROJECT ADDRESS: 929 SHOOFLY ST.
SANTA FE, NEW MEXICO 87505

LEGAL DESCRIPTION: S26, T17N, R9E
ST. ANNES SUBDIVISION
SANTA FE COUNTY, NEW MEXICO

ZONING: BCD-CERRILLOS ROAD

PROJECT AREAS

AREA CALCULATIONS - UNIT A

HEATED - LOWER LEVEL	767 SF
HEATED - UPPER LEVEL	906 SF
TOTAL HEATED (UNIT A)	1673 SF
COVERED PORCHES	42 SF
GARAGE	271 SF
DECKS	38 SF
TOTAL UNIT A PROJECT	2024 SF

AREA CALCULATIONS - UNIT B

HEATED - LOWER LEVEL	1142 SF
HEATED - UPPER LEVEL	986 SF
TOTAL HEATED (UNIT B)	2128 SF
COVERED PORCHES	27 SF
DECKS	111 SF
TOTAL UNIT B PROJECT	2266 SF

CODE COMPLIANCE

The 2021 International Building Code
The 2021 International Residential Code
The 2021 International Energy Conservation Code
The 2021 Uniform Mechanical Code
The 2021 Uniform Plumbing Code
The 2021 National Electrical Code
Applicable Administrative Codes

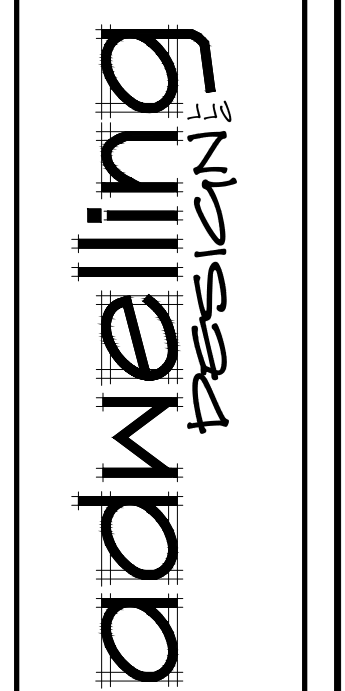
Permit holder is responsible for checking with the permit office to verify current adopted codes and any amendments to current codes.

Code requirements per permit office take precedence over all detailing and specifications in plans.

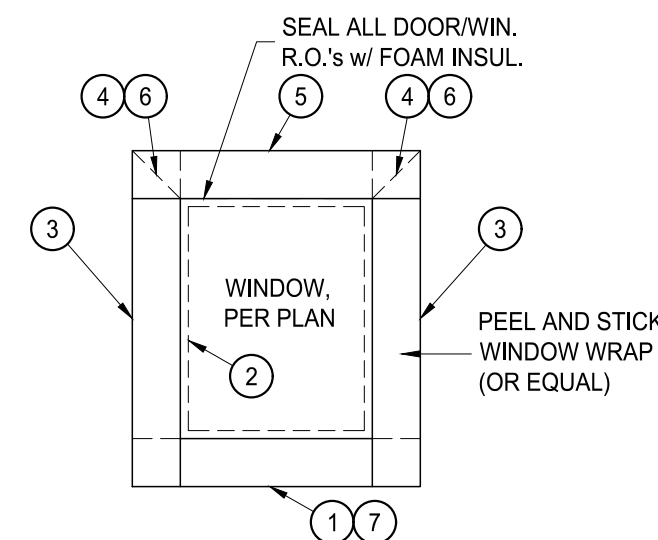
REV. 11/06/2024

1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINES.
2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

PROJECT ADDRESS: 929 SHOOFLY ST.
SANTA FE, NEW MEXICO 87505
CLIENT NAME: MITCH MENAKER

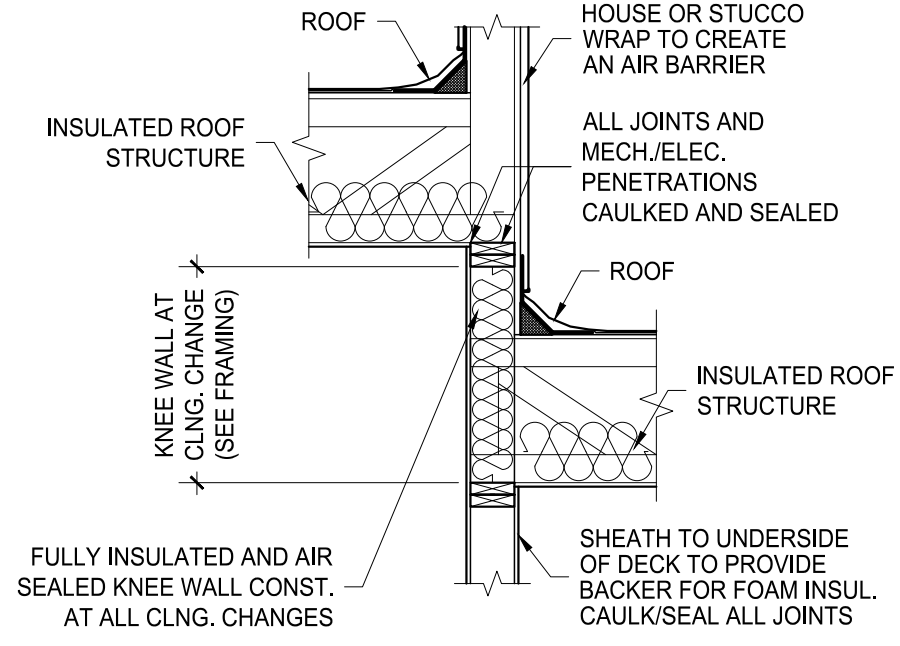


DRAWING NAME: COVER SHEET & SITE PLAN
PROJECT NUMBER: 23-008
PROJECT PROGRESS: FINAL
DRAWN BY: ADWELLING
CHECKED BY: CW / APPROVED BY: CW
DATE: 10.23.24
SCALE: AS NOTED
SHEET: C1

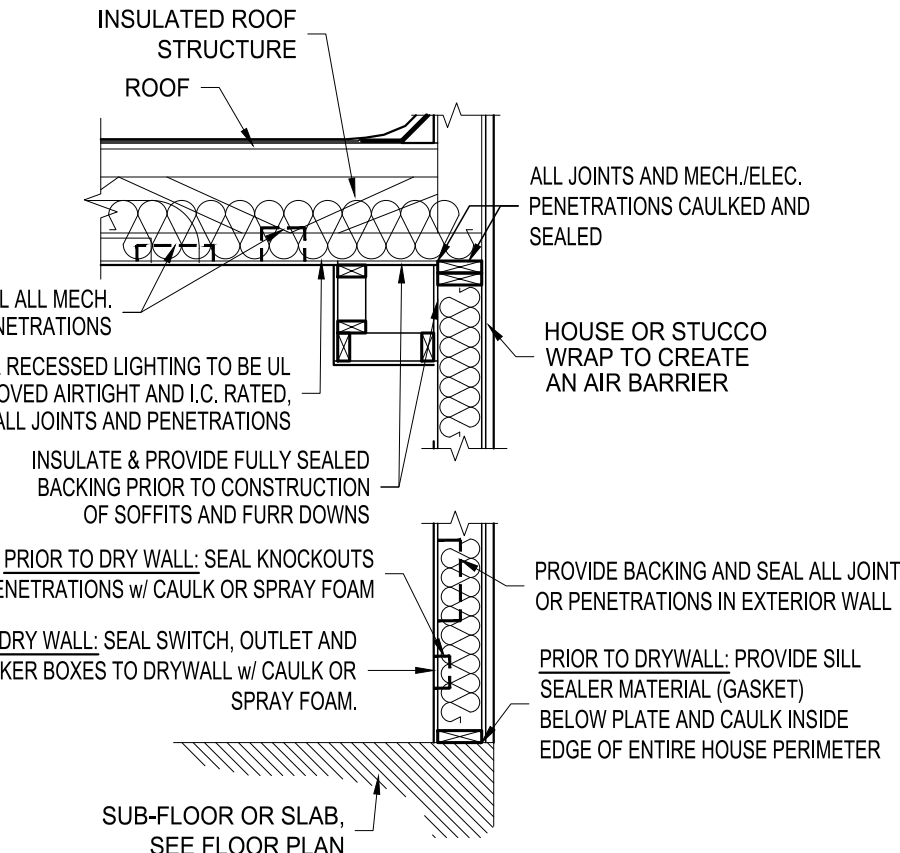


1. INSTALL WRAP AT SILL.
2. INSTALL WINDOW WITH CAULKING BEHIND NAIL FIN (CAULK AT TOP & SIDES ONLY). DO NOT CAULK BOTTOM.
3. INSTALL WRAP AT JAMBS OVERLAPPING WRAP AT SILL.
4. CUT HOUSE WRAP AT TOP OF OPENING AND FOLD UP.
5. INSTALL WRAP AT HEAD.
6. FOLD HOUSE WRAP OVER THE TOP OF WRAP AT TOP OF WINDOW AND TAPE HOUSE WRAP CUTS.
7. MAKE SURE TO LIFT SILL WRAP OVER BOTTOM CORNERS AS REQUIRED.

1 WINDOW FLASHING DETL
A1 NOT TO SCALE

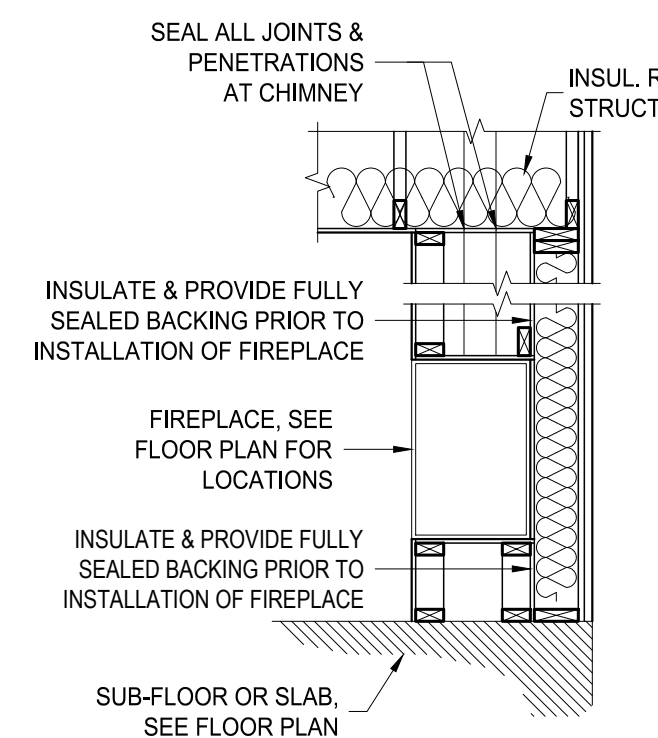


2 THERMAL BYPASS AT CLNG. CHANGE
A1 NOT TO SCALE

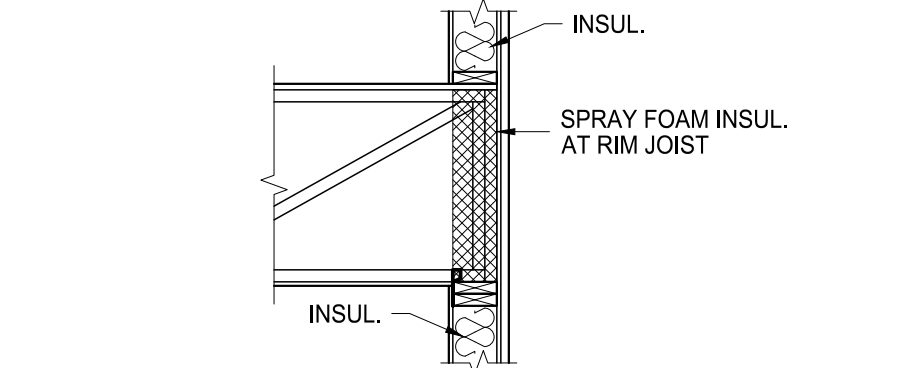


3 THERMAL BYPASS AT TUBS/SHWRS
A1 NOT TO SCALE

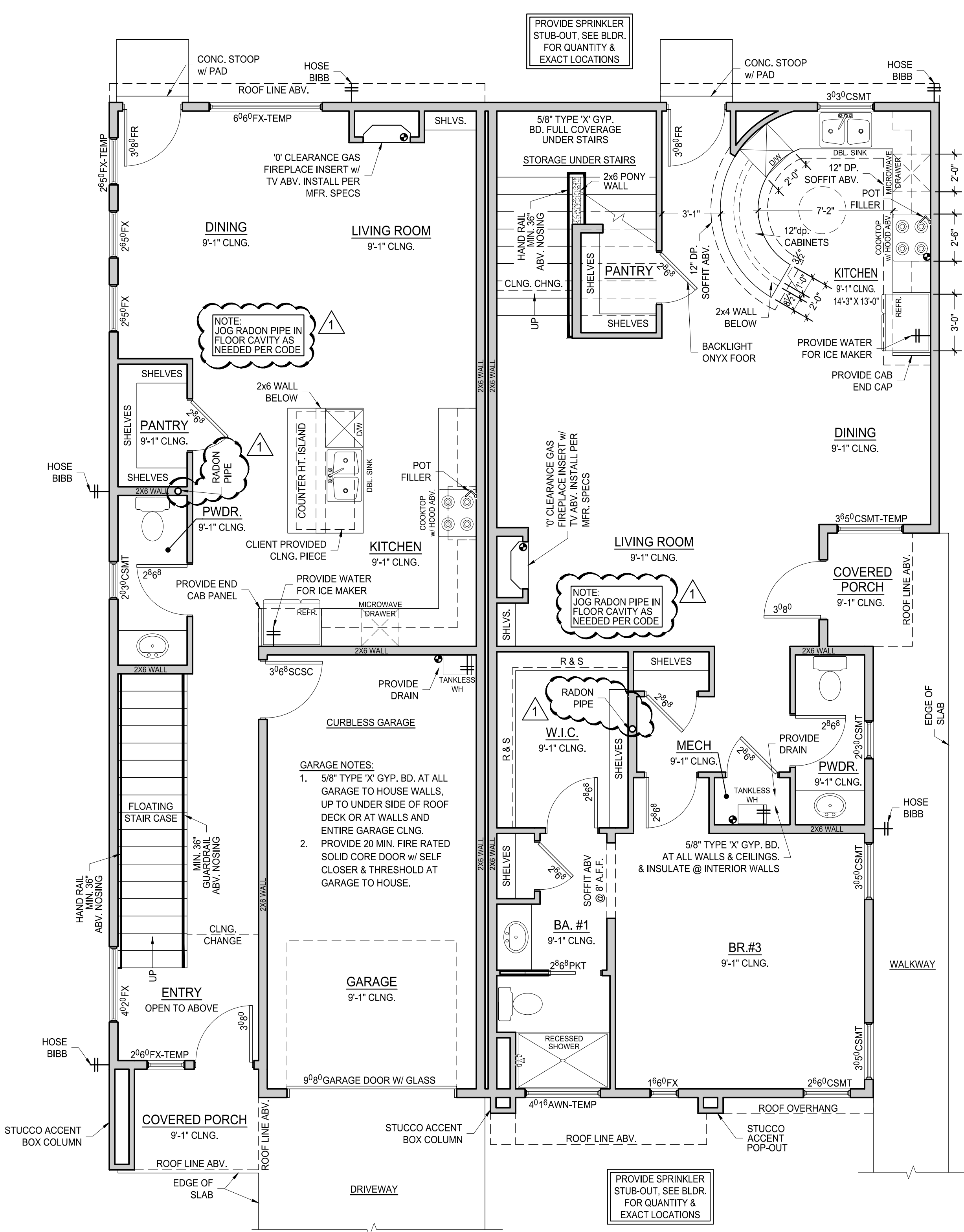
4 THERMAL BYPASS AT EXT. WALLS
A1 NOT TO SCALE



5 THERMAL BYPASS AT FIREPLACES
A1 NOT TO SCALE



6 THERMAL BYPASS AT RIM JOIST
A1 NOT TO SCALE



UNIT A LOWER LEVEL ARCHITECTURAL FLOOR PLAN
1/4" = 1'-0"

UNIT B LOWER LEVEL ARCHITECTURAL FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

1. ALL EXTERIOR WALLS ARE DRAWN AT 5.5" (UNLESS NOTED OTHERWISE) ALL INTERIOR WALLS ARE DRAWN AT 3.5" (UNLESS NOTED OTHERWISE)
2. EXTERIOR WALLS: 2x6 STUDS AT 16" ON CENTER (UNLESS NOTED OTHERWISE). SEE STRUCTURAL FOR SHEATHING SPECIFICATIONS.
3. INTERIOR WALLS: 2x4 STUDS AT 16" ON CENTER. EXCEPT AS NOTED ON PLAN FOR THICKENED WALLS. ALL PLUMBING WALLS SHALL BE 2x6 AS NOTED. WALL AT AREA SEPARATION BETWEEN GARAGE AND HOUSE TO BE 2x6'S @ 16" O.C. (UNLESS NOTED OTHERWISE).
4. ALL WINDOWS ARE NOTED BY SIZE ONLY. ALL ROUGH OPENINGS TO BE VERIFIED BY FRAMERS PER WINDOW MANUFACTURER SPECS.
5. CLEAR OPENINGS AND SILL HEIGHTS SHALL MEET ANY & ALL LOCAL REQUIREMENTS FOR EGRESS, VENTILATION AND LIGHT.
6. WINDOWS SHALL BE TEMPERED AS REQUIRED BY THE IRC 2021.
7. INSULATION VALUES: ALL VALUES LISTED BELOW ARE CODE MINIMUM VALUES.
 - 7.1. WALLS: R-30 or R20 + R5 CONT. INSUL. IN 2X6 WALLS (OR AS NOTED ON PLANS) (WALL BETWEEN GARAGE & HOUSE TO BE INSULATED) (FULLY INSULATE ALL KNEE WALLS AT CEILING CHANGES)
 - 7.2. ROOF: R-49 IN ROOF, w/ COMPLETE COVERAGE. (Per 14.7.6.12 B(2)(b) 2021 NEW MEXICO RESIDENTIAL ENERGY CONSERVATION CODE)
 - 7.3. SLAB: MIN R-10, 2"x24" RIGID INSULATION AT PERIMETER OF HEATED SPACE. (Per 14.7.6.12 B(2)(c) 2021 NEW MEXICO RESIDENTIAL ENERGY CONSERVATION CODE)
8. PROVIDE BLOCKING IN WALLS AT ALL CABINET LOCATIONS. FIELD VERIFY ALL EXACT LOCATIONS.
9. PROVIDE FIREBLOCKING AT ALL WALLS EXCEEDING 10'-0" IN HEIGHT.
10. VERIFY QUANTITY & LOCATION OF ALL ROOF CANALES/ SCUPPERS WITH BUILDER PRIOR TO INSTALLATION.
11. PROVIDE INSULATED ATTIC ACCESS w/ GASKETS TO ALL PITCHED ROOF AREAS, AS REQUIRED PER THE IRC 2021.
12. ALL EXTERIOR HOSE BIBBS SHALL HAVE FREEZE PROTECTION.
13. SEE FOUNDATION PLAN FOR ALL CONCRETE WORK.
14. CONTRACTOR AND HOME OWNER ARE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING A POSITIVE DRAINAGE SLOPE AROUND ENTIRE STRUCTURE AT ALL TIMES.
15. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ENSURING THAT ALL THEIR RESPECTIVE WORK MEETS OR EXCEEDS ANY & ALL REQUIREMENTS AND/OR APPLICABLE BUILDING CODES. IF PLANS DO NOT MEET THIS REQUIREMENT, NOTIFY THE DESIGNER OF ANY PLAN CORRECTIONS NEEDED.
16. GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK MEETS OR EXCEEDS ANY & ALL REQUIREMENTS AND APPLICABLE BUILDING CODES. IF PLANS DO NOT MEET THIS REQUIREMENT, NOTIFY THE DESIGNER OF ANY CORRECTIONS NEEDED.
17. SEE BUILDER FOR PREFERRED METHOD OF SOIL GAS MITIGATION.

FLOOR PLAN LEGEND

- GAS HOOK-UP
- ⊕ HOSE BIBB / WATER HOOK-UP

U-FACTOR / SHGC (PER 2021 IECC TABLE R402.1.2)

CLIMATE ZONE : 5
MIN. U-FACTOR : 0.30
MIN. SHGC : 0.40

AREA CALCULATIONS - UNIT A

HEATED - LOWER LEVEL	767 SF
HEATED - UPPER LEVEL	906 SF
TOTAL HEATED (UNIT A)	1673 SF
COVERED PORCHES	42 SF
GARAGE	271 SF
DECKS	38 SF
TOTAL UNIT A PROJECT	2024 SF

AREA CALCULATIONS - UNIT B

HEATED - LOWER LEVEL	1142 SF
HEATED - UPPER LEVEL	986 SF
TOTAL HEATED (UNIT B)	2128 SF
COVERED PORCHES	27 SF
DECKS	111 SF
TOTAL UNIT B PROJECT	2266 SF

PROJECT ADDRESS:
**929 SHOOFLY ST.
SANTA FE, NEW MEXICO 87505**

CLIENT NAME:
MITCH MENAKER

adwelling
DESIGN

DRAWING NAME:
LOWER LEVEL ARCHITECTURAL FLOOR PLANS & OPT. GARAGE

PROJECT NUMBER:
BACA STREET

PROJECT NUMBER:
23-008

PROJECT PROGRESS:
FINAL

DRAWN BY:
ADWELLING

CHECKED BY:
CW

APPROVED BY:
CW

DATE:
10.23.24

SCALE:
AS NOTED

SHEET:

A1

-11 TOTAL SHEETS-

REV. 11/06/2024

GENERAL NOTES

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- INTERIOR WALLS: 2x4 STUDS AT 16" ON CENTER, EXCEPT AS NOTED ON PLAN FOR THICKENED WALLS. ALL PLUMBING WALLS SHALL BE 2x6 AS NOTED. WALL AT AREA SEPARATION BETWEEN GARAGE AND HOUSE TO BE 2x6@8" @ 16" O.C. (UNLESS NOTED OTHERWISE).
- ALL WINDOWS ARE NOTED BY SIZE ONLY. ALL ROUGH OPENINGS TO BE VERIFIED BY FRAMERS PER WINDOW MANUFACTURER SPECS.
- CLEAR OPENINGS AND SILL HEIGHTS SHALL MEET ANY & ALL LOCAL REQUIREMENTS FOR EGRESS, VENTILATION AND LIGHT.
- WINDOWS SHALL BE TEMPERED AS REQUIRED BY THE IRC 2021.
- INSULATION VALUES: ALL VALUES LISTED BELOW ARE CODE MINIMUM VALUES.
 - WALLS: R-30 or R20 + R5 CONT. INSUL. IN 2X6 WALLS (OR AS NOTED ON PLANS) (WALL BETWEEN GARAGE & HOUSE TO BE INSULATED) (FULLY INSULATE ALL KNEE WALLS AT CEILING CHANGES)
 - ROOF: R-49 IN ROOF, w/ COMPLETE COVERAGE. (Per 14.7.8.12 B(2)(b) 2021 NEW MEXICO RESIDENTIAL ENERGY CONSERVATION CODE)
 - SLAB: MIN R-10, 2"x24" RIGID INSULATION AT PERIMETER OF HEATED SPACE. (Per 14.7.8.12 B(2)(c) 2021 NEW MEXICO RESIDENTIAL ENERGY CONSERVATION CODE)
- PROVIDE BLOCKING IN WALLS AT ALL CABINET LOCATIONS. FIELD VERIFY ALL EXACT LOCATIONS.
- PROVIDE FIREBLOCKING AT ALL WALLS EXCEEDING 10'-0" IN HEIGHT.
- VERIFY QUANTITY & LOCATION OF ALL ROOF CANALES/SCUPPERS WITH BUILDER PRIOR TO INSTALLATION.
- PROVIDE INSULATED ATTIC ACCESS w/ GASKETS TO ALL PITCHED ROOF AREAS, AS REQUIRED PER THE IRC 2021.
- ALL EXTERIOR HOSE BIBBS SHALL HAVE FREEZE PROTECTION.
- SEE FOUNDATION PLAN FOR ALL CONCRETE WORK.
- CONTRACTOR AND HOME OWNER ARE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING A POSITIVE DRAINAGE SLOPE AROUND ENTIRE STRUCTURE AT ALL TIMES.
- ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ENSURING THAT ALL THEIR RESPECTIVE WORK MEETS OR EXCEEDS ANY & ALL REQUIREMENTS AND/OR APPLICABLE BUILDING CODES. IF PLANS DO NOT MEET THIS REQUIREMENT, NOTIFY THE DESIGNER OF ANY PLAN CORRECTIONS NEEDED.
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- SEE BUILDER FOR PREFERRED METHOD OF SOIL GAS MITIGATION.

FLOOR PLAN LEGEND

- GAS HOOK-UP
- ⊕ HOSE BIBB / WATER HOOK-UP

U-FACTOR / SHGC (PER 2018 IECC TABLE R402.1.2)

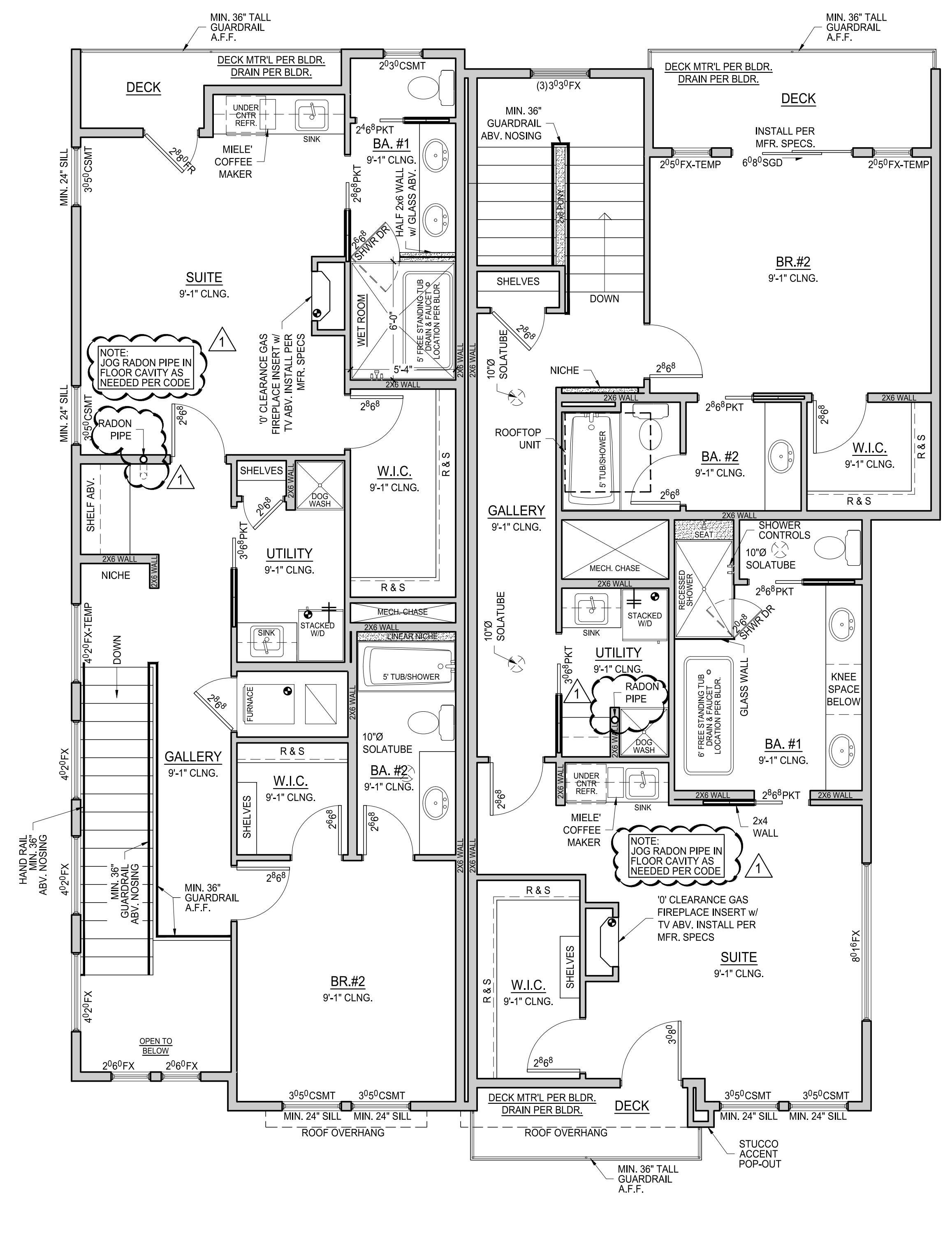
CLIMATE ZONE : 5 R.R.
 MIN. U-FACTOR : 0.30
 MIN. SHGC : NR

AREA CALCULATIONS - UNIT A

HEATED - LOWER LEVEL	767 SF
HEATED - UPPER LEVEL	906 SF
TOTAL HEATED (UNIT A)	1673 SF
COVERED PORCHES	42 SF
GARAGE	271 SF
DECKS	38 SF
TOTAL UNIT A PROJECT	2024 SF

AREA CALCULATIONS - UNIT B

HEATED - LOWER LEVEL	1142 SF
HEATED - UPPER LEVEL	986 SF
TOTAL HEATED (UNIT B)	2128 SF
COVERED PORCHES	27 SF
DECKS	111 SF
TOTAL UNIT B PROJECT	2266 SF



UNIT A UPPER LEVEL ARCHITECTURAL FLOOR PLAN
 1/4" = 1'-0"

UNIT B UPPER LEVEL ARCHITECTURAL FLOOR PLAN
 1/4" = 1'-0"

UNIT "A" DOOR SCHEDULE

LEVEL 1	DISCRPTION	SIZE		CUSTOM	PRE-HUNG	POCKET
		W	H			
GARAGE	GARAGE DOOR	9'-0"	8'-0"			
	GARAGE/HOUSE DOOR	3'-0"	6'-8"		X	
ENTRY, POWDER, PANTRY, LIVING RM. & DINING RM.	FRONT ENTRY DOOR	3'-0"	8'-0"	X		
	PANTRY DOOR-BLUE	2'-8"	6'-8"	X		
	POWDER ROOM DOOR	2'-8"	6'-8"		X	
	DINING EXTERIOR DOOR	3'-0"	8'-0"		X	
LEVEL 2						
SUITE	SUITE ENTRY DOOR	2'-8"	6'-8"		X	
	SUITE EXTERIOR DOOR	2'-8"	8'-0"		X	
	W.I.C. DOOR	2'-8"	6'-8"		X	
BA. #1	BA #1 ENTRY DOOR	2'-8"	6'-8"			X
	WATER CLOSET DOOR	2'-4"	6'-8"			
	SHOWER DOOR	2'-6"	6'-8"			
UTILITY	UTILITY RM. ENTRY DOOR	3'-0"	6'-8"			X
	UTILITY RM. CLOSET DOOR	2'-0"	6'-8"		X	
BR. #2	BEDROOM ENTRY DOOR	2'-8"	6'-8"		X	
	W.I.C. DOOR	2'-6"	6'-8"		X	
BA. #2	BATHROOM ENTRY DOOR	2'-6"	6'-8"		X	
GALLERY	MECHANICAL CLOSET DOOR	2'-8"	6'-8"		X	

UNIT "B" DOOR SCHEDULE

LEVEL 1	DISCRPTION	SIZE		CUSTOM	PRE-HUNG	POCKET
		W	H			
BR. #3	BEDROOM ENTRY DOOR	2'-8"	6'-8"		X	
	W.I.C. DOOR	2'-8"	6'-8"		X	
BA. #1	BATHROOM ENTRY DOOR	2'-8"	6'-8"			X
	LINEN CLOSET DOOR	2'-6"	6'-8"		X	
ENTRY, POWDER, PANTRY, LIVING RM. & MECH.	FRONT ENTRY DOOR	3'-0"	8'-0"	X		
	PANTRY DOOR	2'-8"	6'-8"	X		
	POWDER ROOM DOOR	2'-8"	6'-8"		X	
	MECH. CLOSET DOOR	2'-8"	6'-8"		X	
	STORAGE CLOSET DOOR	2'-8"	6'-8"		X	
	DINING EXTERIOR DOOR	3'-0"	8'-0"		X	
LEVEL 2						
SUITE	SUITE ENTRY DOOR	2'-8"	6'-8"		X	
	SUITE EXTERIOR DOOR	3'-0"	8'-0"		X	
	W.I.C. DOOR	2'-8"	6'-8"		X	
BA. #1	BA #1 ENTRY DOOR	2'-8"	6'-8"			X
	WATER CLOSET DOOR	2'-8"	6'-8"			X
	SHOWER DOOR	2'-0"	6'-8"			
UTILITY	UTILITY RM. ENTRY DOOR	3'-0"	6'-8"			X
BR. #2	BEDROOM ENTRY DOOR	2'-8"	6'-8"		X	
	W.I.C. DOOR	2'-6"	6'-8"		X	
	BEDROOM EXTERIOR DOOR	6'-0"	8'-0"		X	
BA. #2	BATHROOM ENTRY DOOR	2'-8"	6'-8"		X	
	BATHROOM DOOR	2'-6"	6'-8"		X	
GALLERY	STORAGE CLOSET DOOR	2'-8"	6'-8"		X	

UNIT "A" WINDOW SCHEDULE

QTY.	LEVEL 1	SIZE		DISCRPTION
		W	H	
1	2'6" FX-TEMP	2'-0"	6'-0"	FIXED-TEMPERED
1	4'2" FX	4'-0"	2'-0"	FIXED
1	2'3" CSMT	2'-0"	3'-0"	CASEMENT
2	2'6" FX	2'-6"	5'-0"	FIXED
1	2'6" FX-TEMP	2'-6"	5'-0"	FIXED-TEMPERED
1	6'6" FX-TEMP	6'-0"	6'-0"	FIXED-TEMPERED
LEVEL 2				
4	3'6" CSMT	3'-0"	5'-0"	CASEMENT
2	2'6" FX	3'-0"	6'-0"	FIXED
3	4'2" FX	4'-0"	2'-0"	FIXED
1	4'2" FX-TEMP	4'-0"	2'-0"	FIXED-TEMPERED
1	2'3" CSMT	2'-0"	3'-0"	CASEMENT

UNIT "B" WINDOW SCHEDULE

QTY.	LEVEL 1	SIZE		DISCRPTION
		W	H	
1	4'1" Awn-TEMP	4'-0"	1'-6"	AWNING-TEMPERED
1	1'6" FX	1'-6"	6'-0"	FIXED
1	2'6" CSMT	2'-6"	6'-0"	CASEMENT
2	3'6" CSMT	3'-0"	5'-0"	CASEMENT
1	2'3" CSMT	2'-0"	3'-0"	CASEMENT
1	3'3" CSMT	3'-0"	3'-0"	CASEMENT
1	3'6" CSMT-TEMP	3'-6"	5'-0"	CASEMENT-TEMPERED
LEVEL 2				
2	3'6" CSMT	3'-0"	5'-0"	CASEMENT
1	6'1" FX	8'-0"	1'-6"	FIXED
2	2'6" FX-TEMP	2'-0"	5'-0"	FIXED-TEMPERED
3	3'3" FX	3'-0"	3'-0"	FIXED

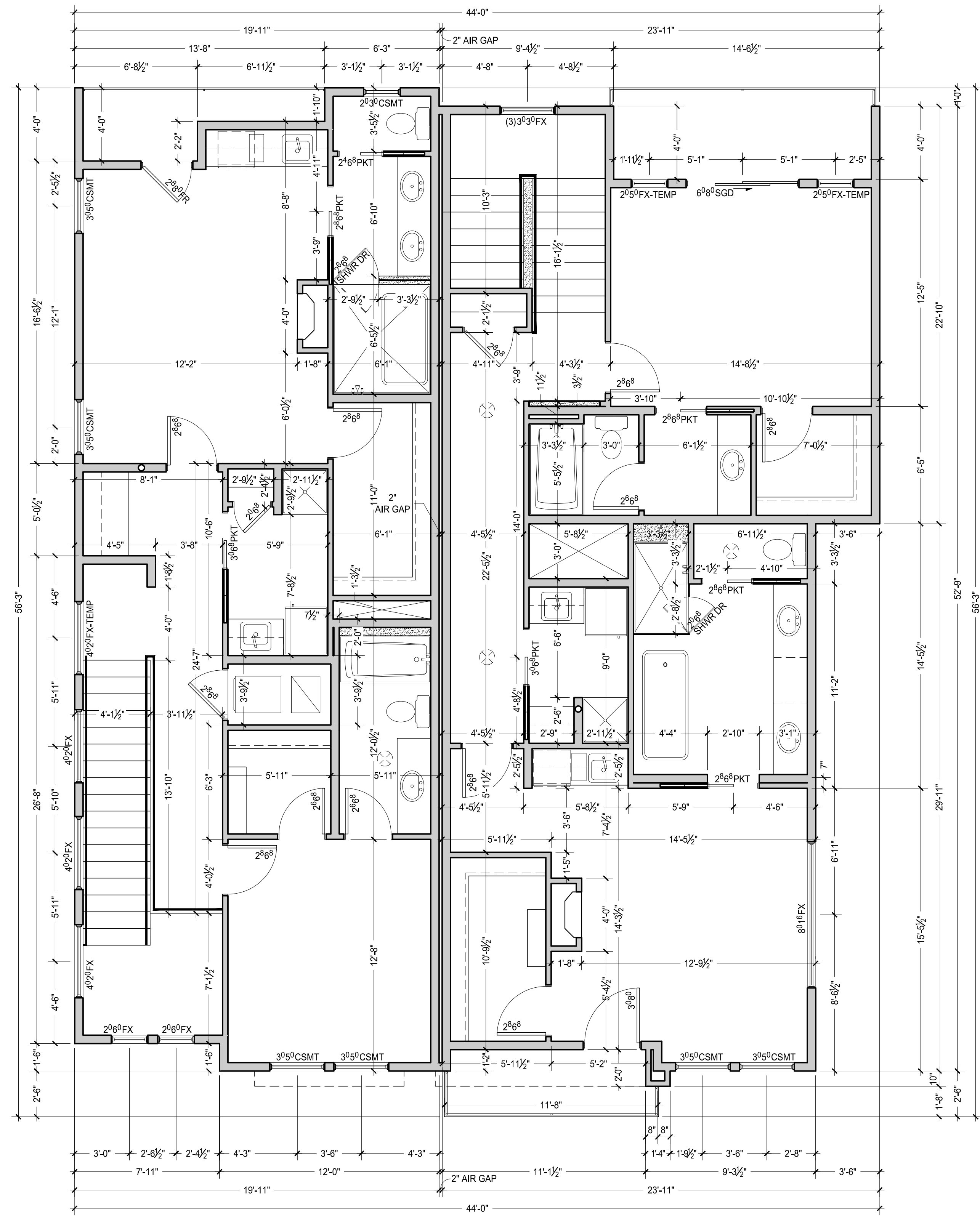
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929 SHOOFLY ST.
SANTA FE, NEW MEXICO 87505
 CLIENT NAME:
MITCH MENAKER

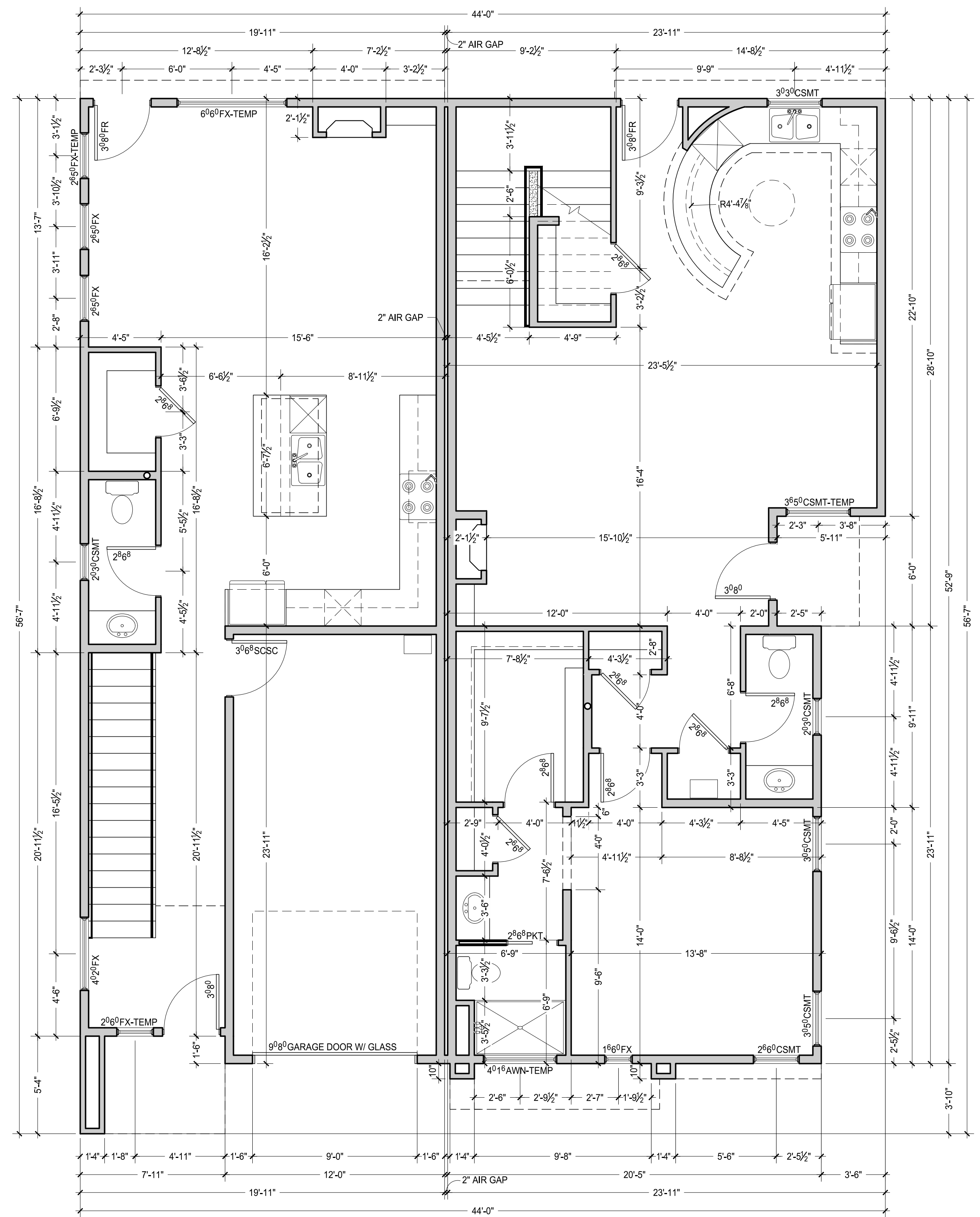
adwelling
 DESIGN

DRAWING NAME:
UPPER LEVEL ARCHITECTURAL FLOOR PLANS & SCHEDULES
 PROJECT NUMBER:
23-008
 PROJECT PROGRESS:
FINAL
 DRAWN BY:
ADWELLING
 CHECKED BY: / APPROVED BY:
 CW / CW
 DATE:
10.23.24
 SCALE:
AS NOTED
 SHEET:
A2

REV. 11/06/2024
 -11 TOTAL SHEETS-



UPPER LEVEL DIMENSIONED FLOOR PLANS
1/4" = 1'-0"



LOWER LEVEL DIMENSIONED FLOOR PLANS
1/4" = 1'-0"

1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINES.
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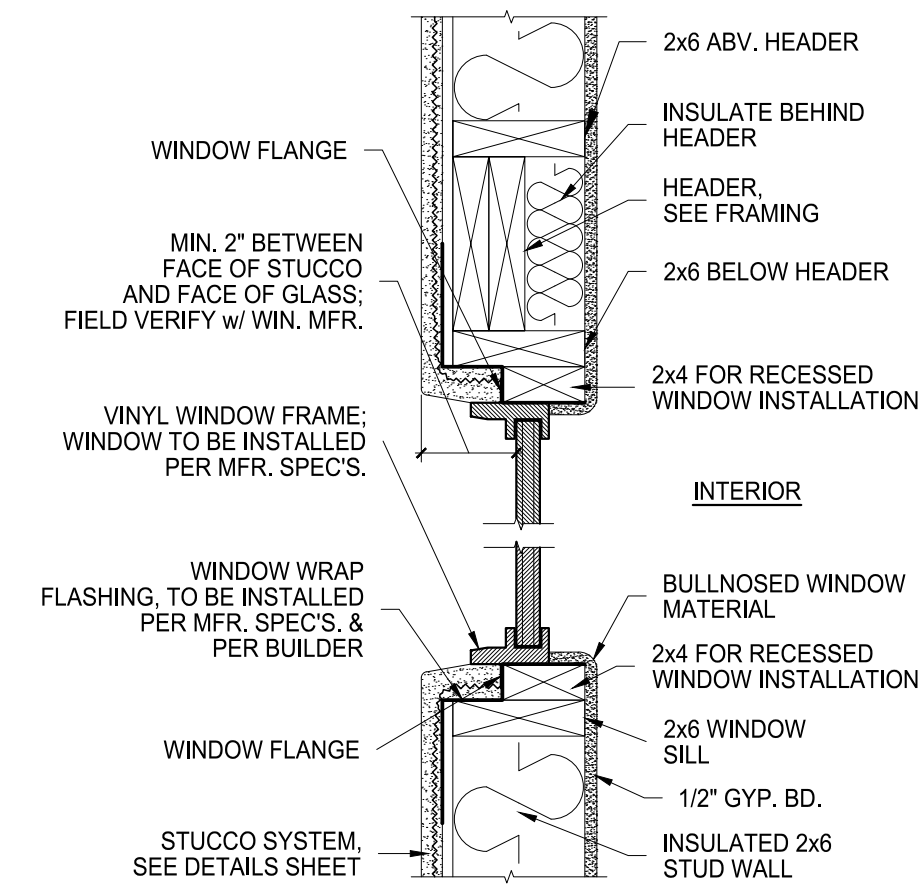
PROJECT ADDRESS:
**929 SHOOFLY ST.
SANTA FE, NEW MEXICO 87505**
CLIENT'S NAME:
MITCH MENAKER

adwelling
DESIGN

DRAWING NAME:
DIMENSIONED FLOOR PLANS
PROJECT NAME:
BACA STREET

PROJECT NUMBER:
23-008
PROJECT PROGRESS:
FINAL
DRAWN BY:
ADWELLING
CHECKED BY: **CW** / APPROVED BY: **CW**
DATE:
10.23.24
SCALE:
AS NOTED
SHEET:

A3
-11 TOTAL SHEETS-

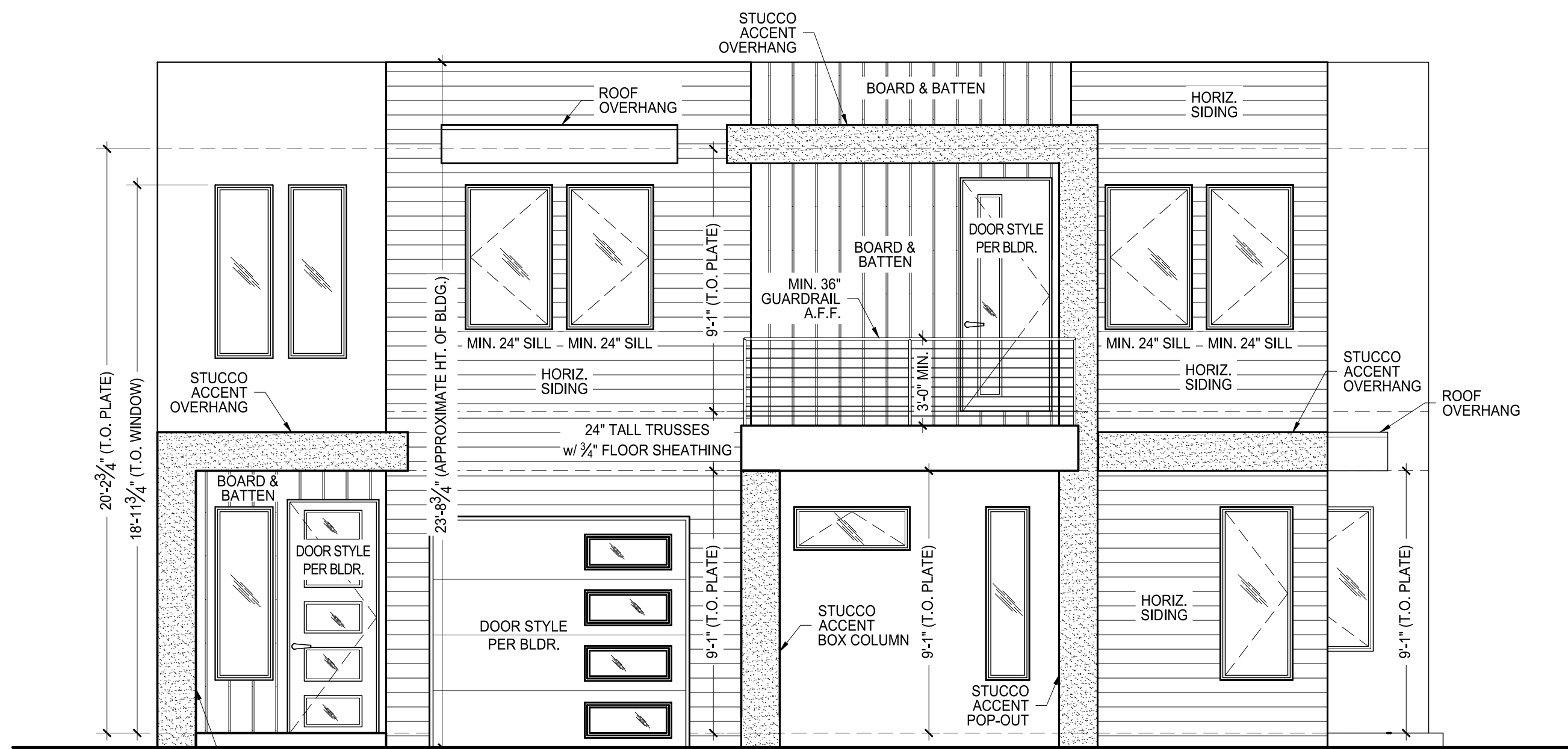


1 WINDOW RECESS DETAIL
A4 1 1/2" = 1'-0"

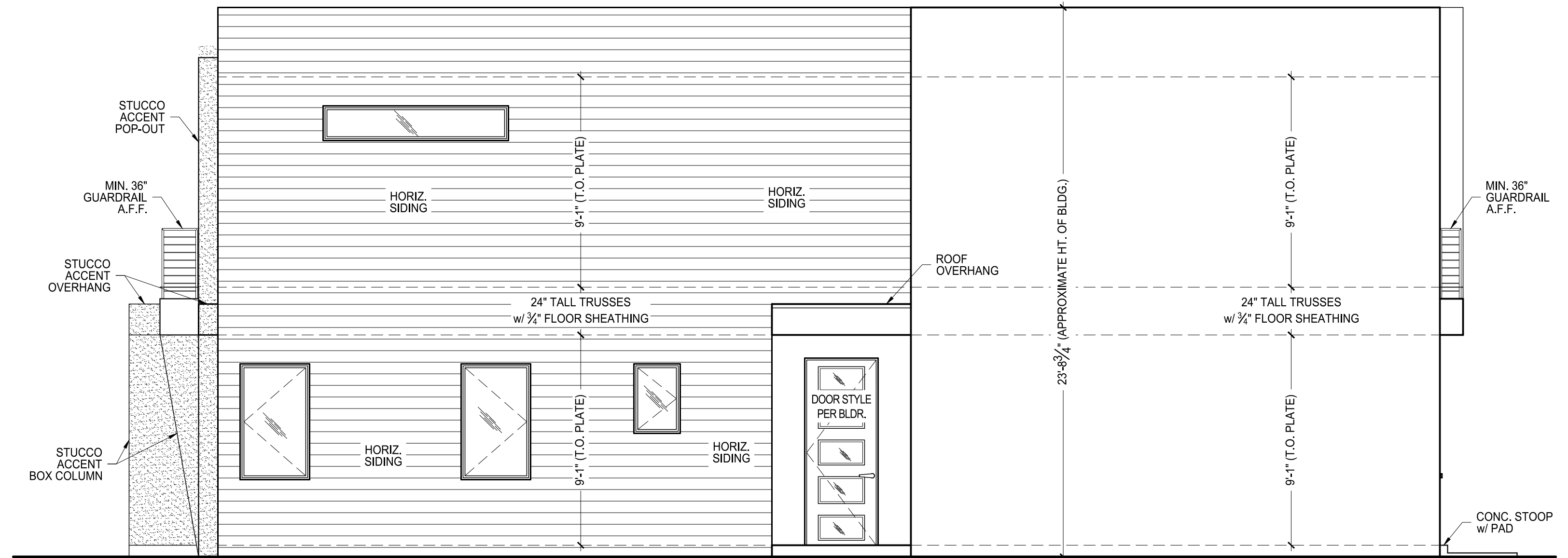
GENERAL ELEVATION NOTES

1. ALL COLORS AND MATERIALS SHALL BE DESIGNATED PER ANY APPLICABLE ASSOCIATIONS.
2. ALL WINDOWS TO BE RECESSED 2" FROM EXTERIOR FACE (SEE BUILDER).
3. SEE FRAMING PLAN FOR CANALE LOCATIONS.
4. ALL EXTERIOR FINISH MATERIAL TO BE STUCCO, UNLESS NOTED OTHERWISE.
5. ALL WINDOW HEADER HEIGHTS TO BE 7'-10" A.F.F., UNLESS NOTED OTHERWISE.

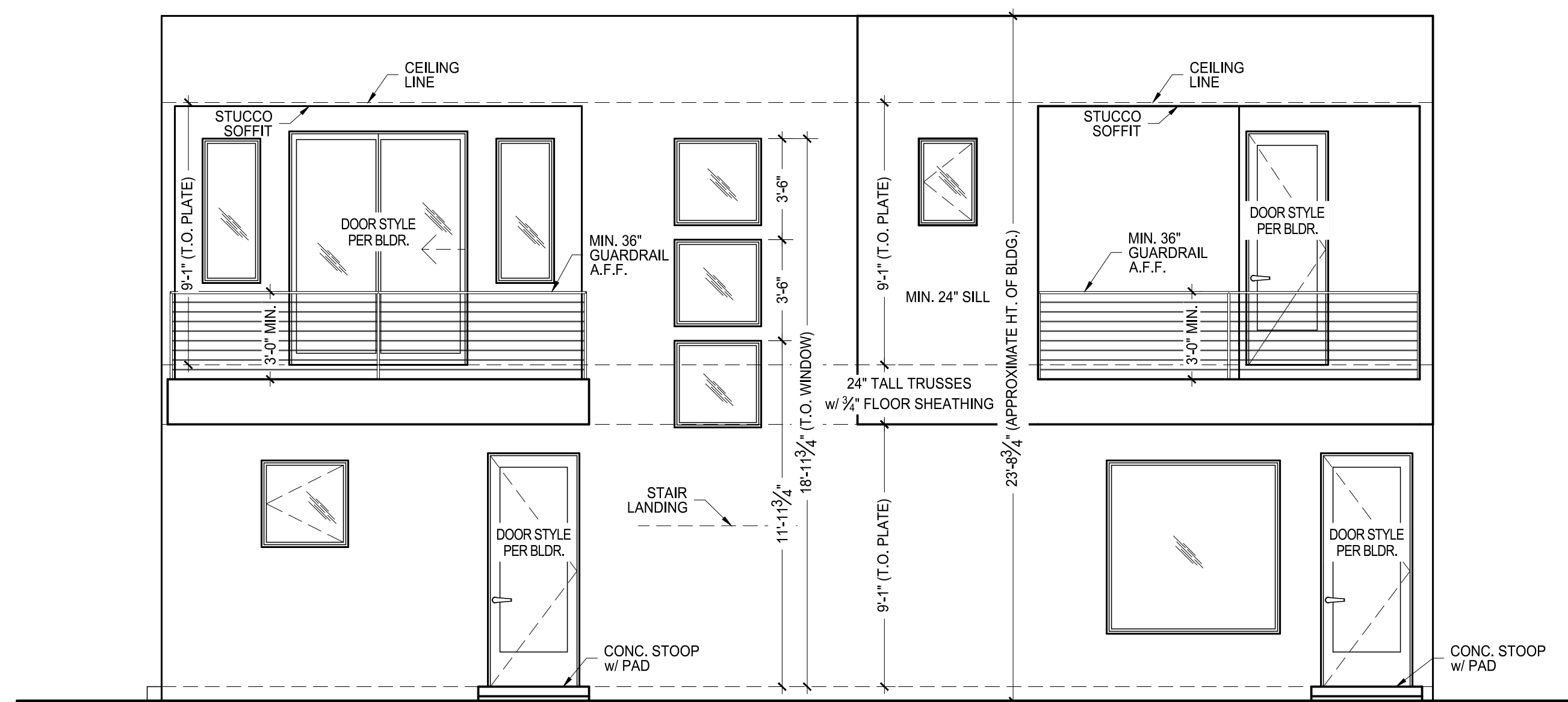
1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINES.
2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.



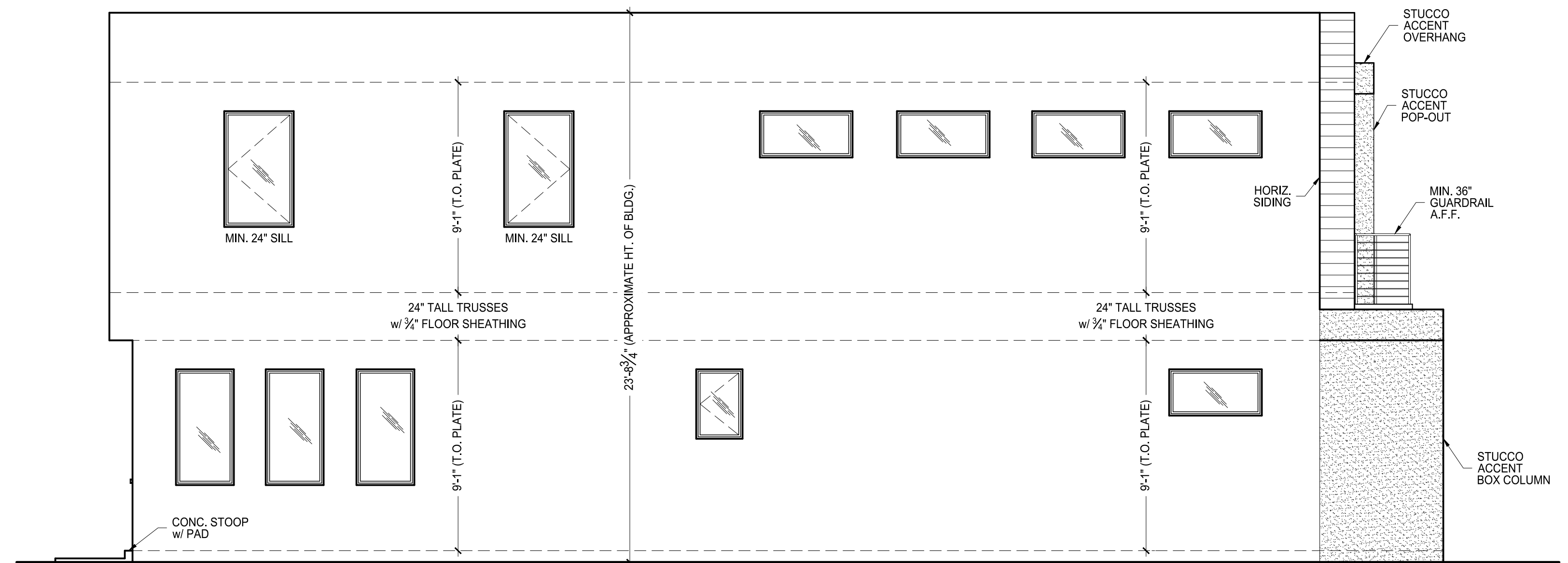
F FRONT ELEVATION
A4 1/4" = 1'-0"



R RIGHT ELEVATION
A4 1/4" = 1'-0"



B BACK ELEVATION
A4 1/4" = 1'-0"



L LEFT ELEVATION
A4 1/4" = 1'-0"

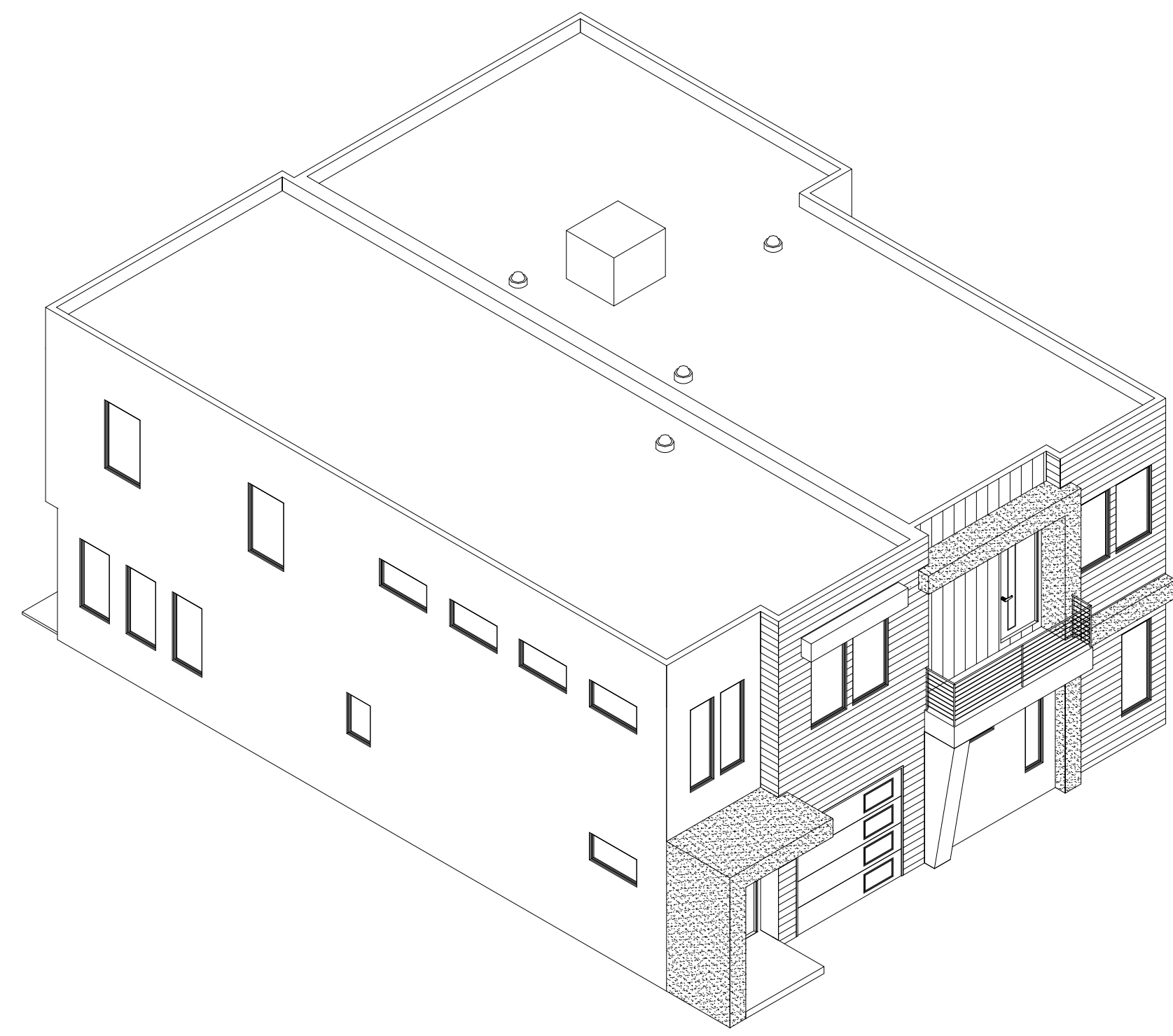
PROJECT ADDRESS:
**929 SHOOFLY ST.
SANTA FE, NEW MEXICO 87505**
CLIENT NAME:
MITCH MENAKER

adwelling
DESIGN

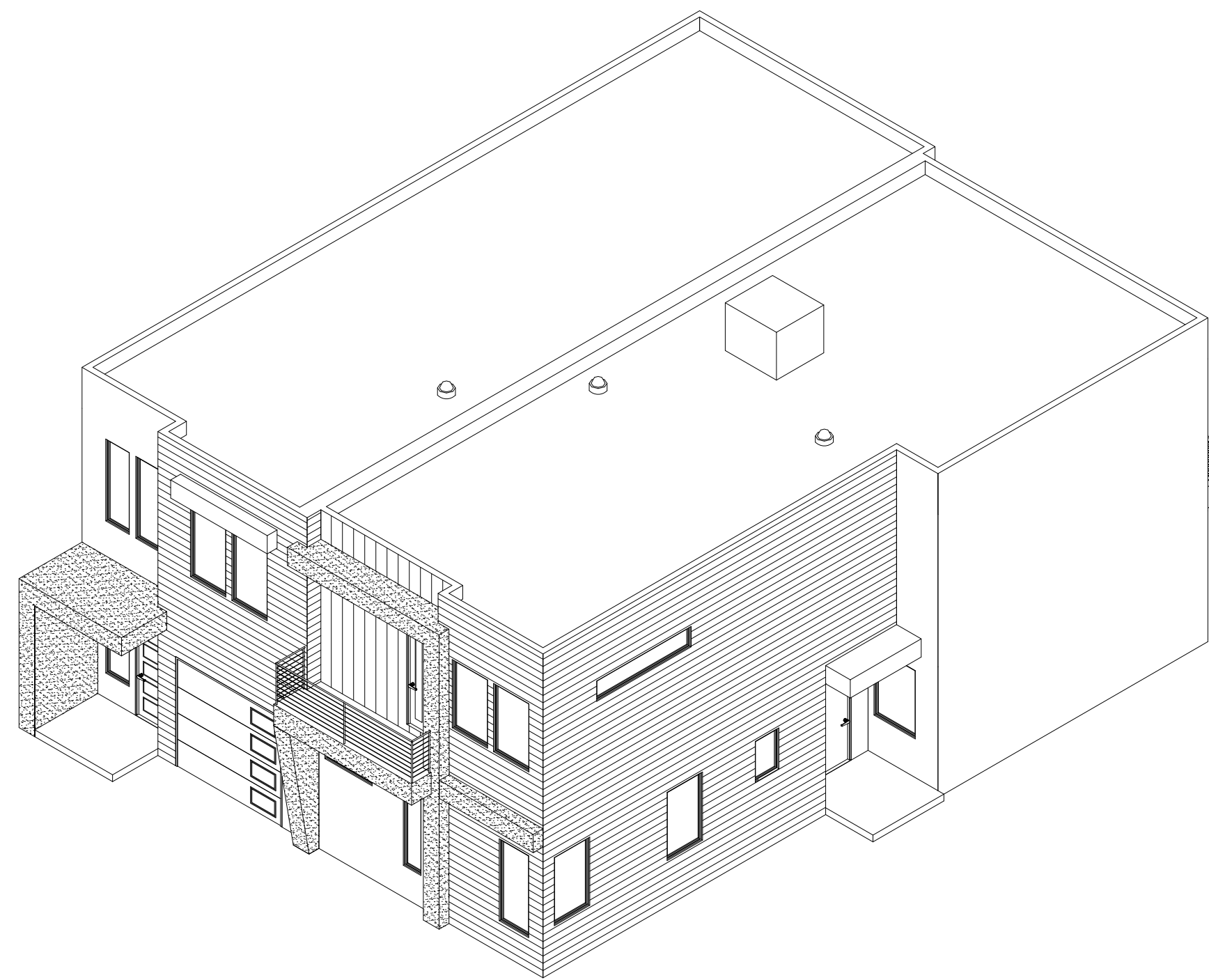
DRAWING NAME:
EXTERIOR ELEVATIONS & DETAIL
PROJECT NUMBER:
23-008
PROJECT PROGRESS:
FINAL
DRAWN BY:
ADWELLING
CHECKED BY:
CW / CW

DATE:
10.23.24
SCALE:
AS NOTED
SHEET:

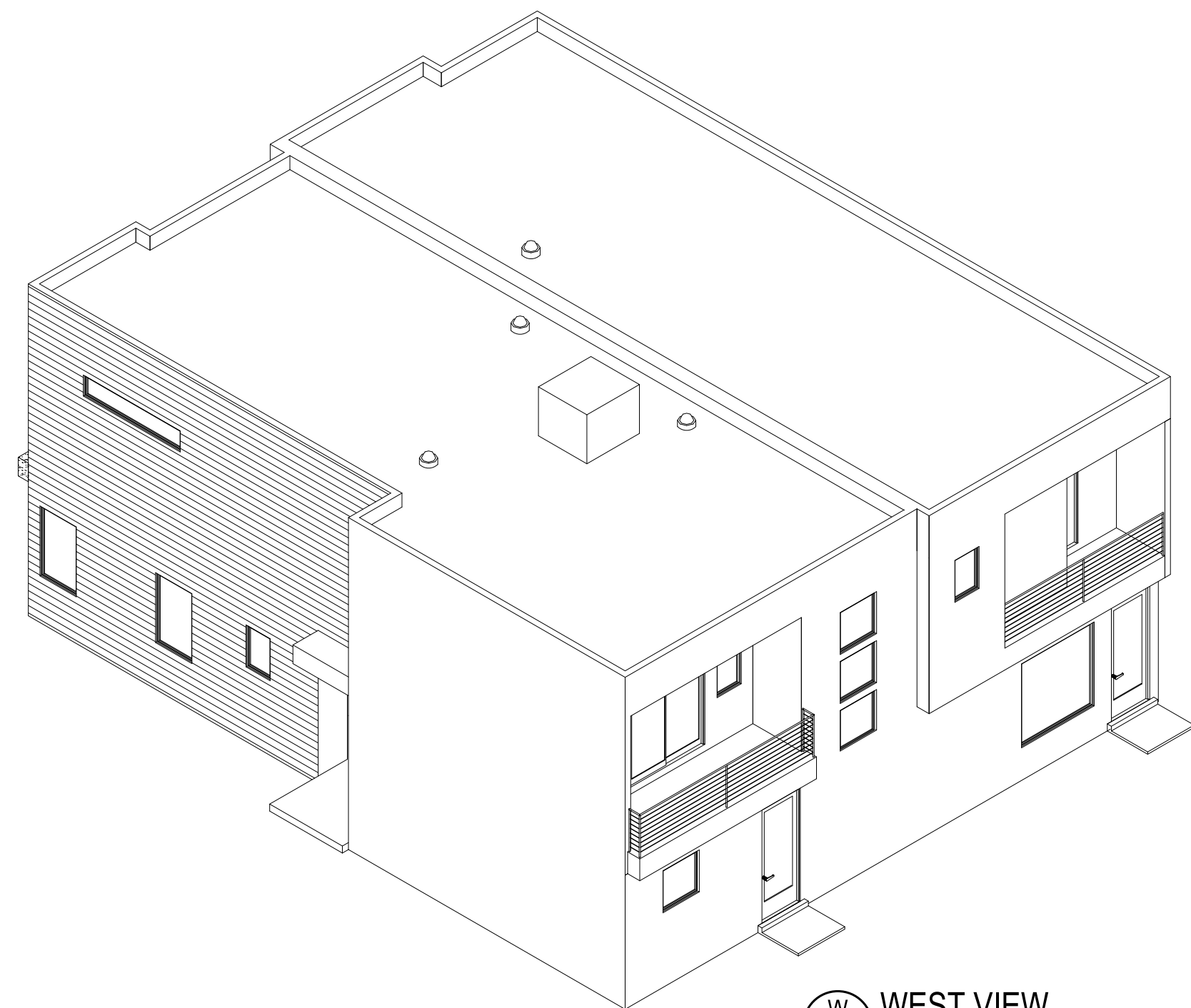
A4



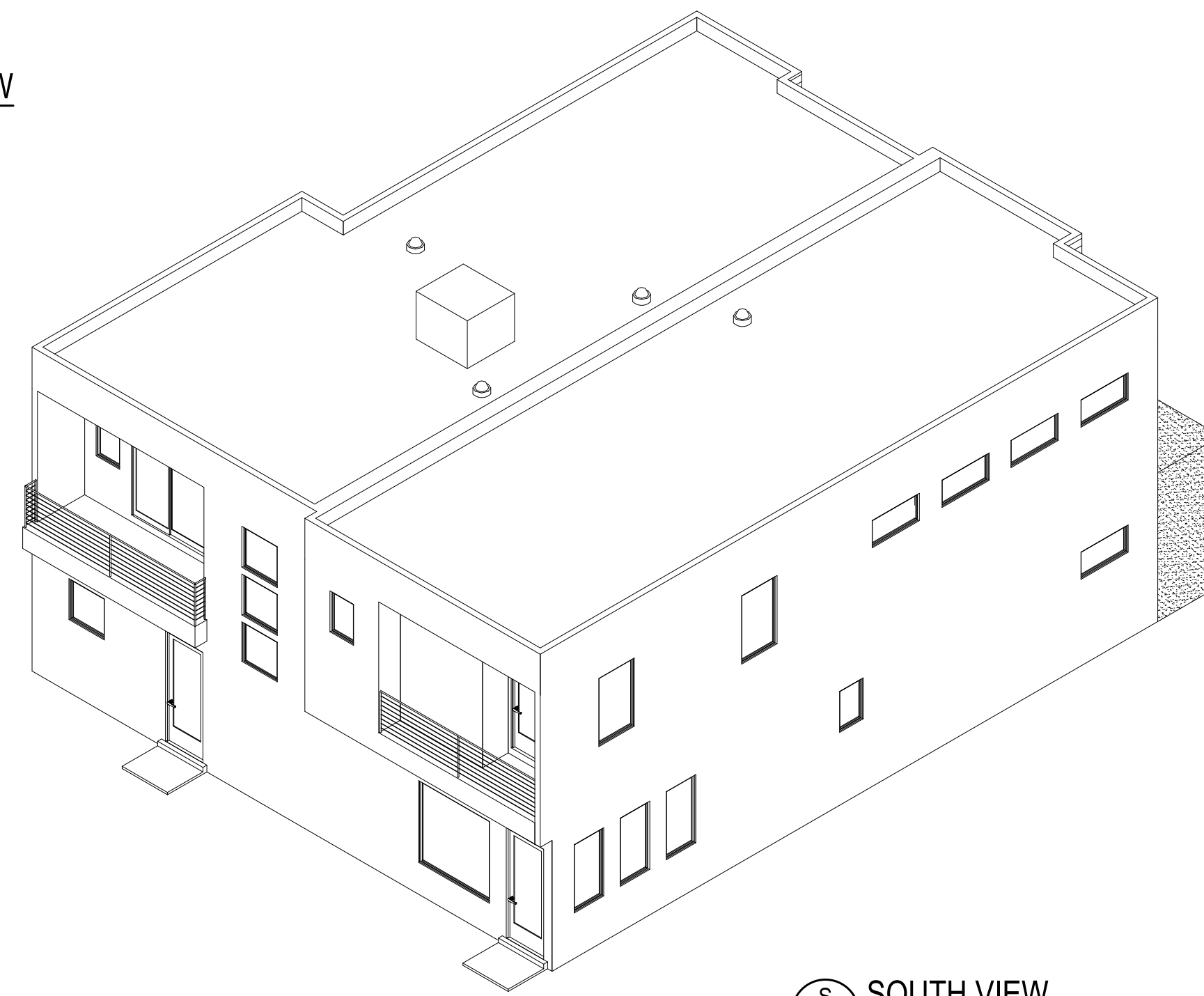
E EAST VIEW
A5 NTS



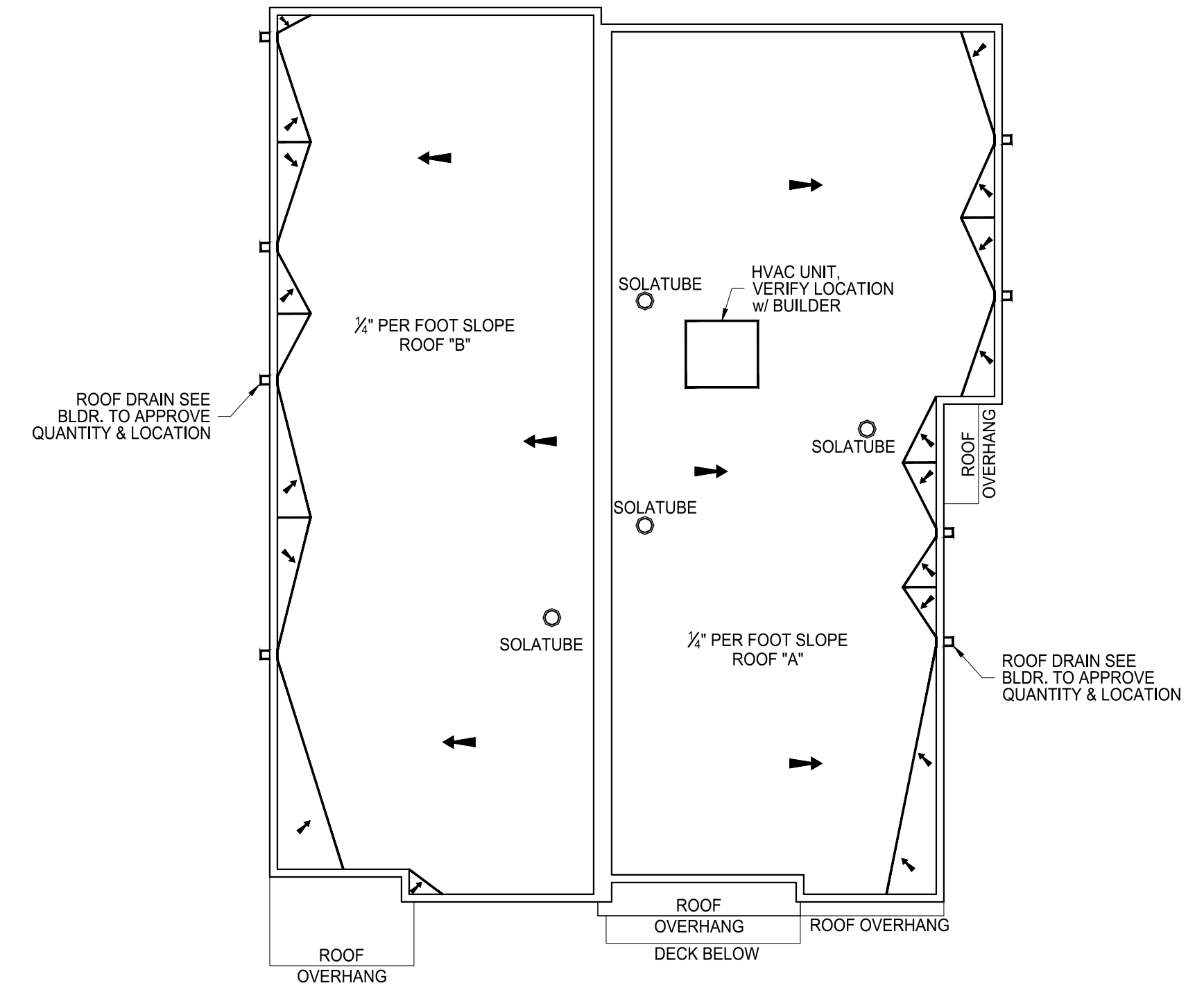
N NORTH VIEW
A5 NTS



W WEST VIEW
A5 NTS



S SOUTH VIEW
A5 NTS



ROOF PLAN
NTS

ATTIC / ROOF VENTILATION CALCULATION / REQUIREMENT

ROOF LOCATION	CEILING SQ. FT.	IRC 2015 1/150	=	REQD S.F. OF VENTILN	X	CONVERT SQ. IN.	=	REQD SQ. IN. OF VENTILN	/	SQ. IN. PER EA. VENT	=	# VENTS REQD	# OF VENTS PROVIDED
FLAT ROOF													
ROOF A	1074	/ 150	=	7.16	X 144	=	1031.04	/ 72	=	14.32	=	15	
ROOF B	992	/ 150	=	6.61	X 144	=	952.32	/ 72	=	13.23	=	14	

- NOTES:**
1. ALL VENTS TO BE 14" x 6" FIXED VENTS "FV146B" BY CONSTRUCTION METALS, INC. (CONSTRUCTIONMETALS.COM) OR APPROVED EQUIVALENT IN ORDER TO ACHIEVE REQD SQ. IN. OF VENTILATION.
 2. NOTIFY DESIGNER OF ANY DISCREPANCIES IN CALCULATIONS IMMEDIATELY.

1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINES.
2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

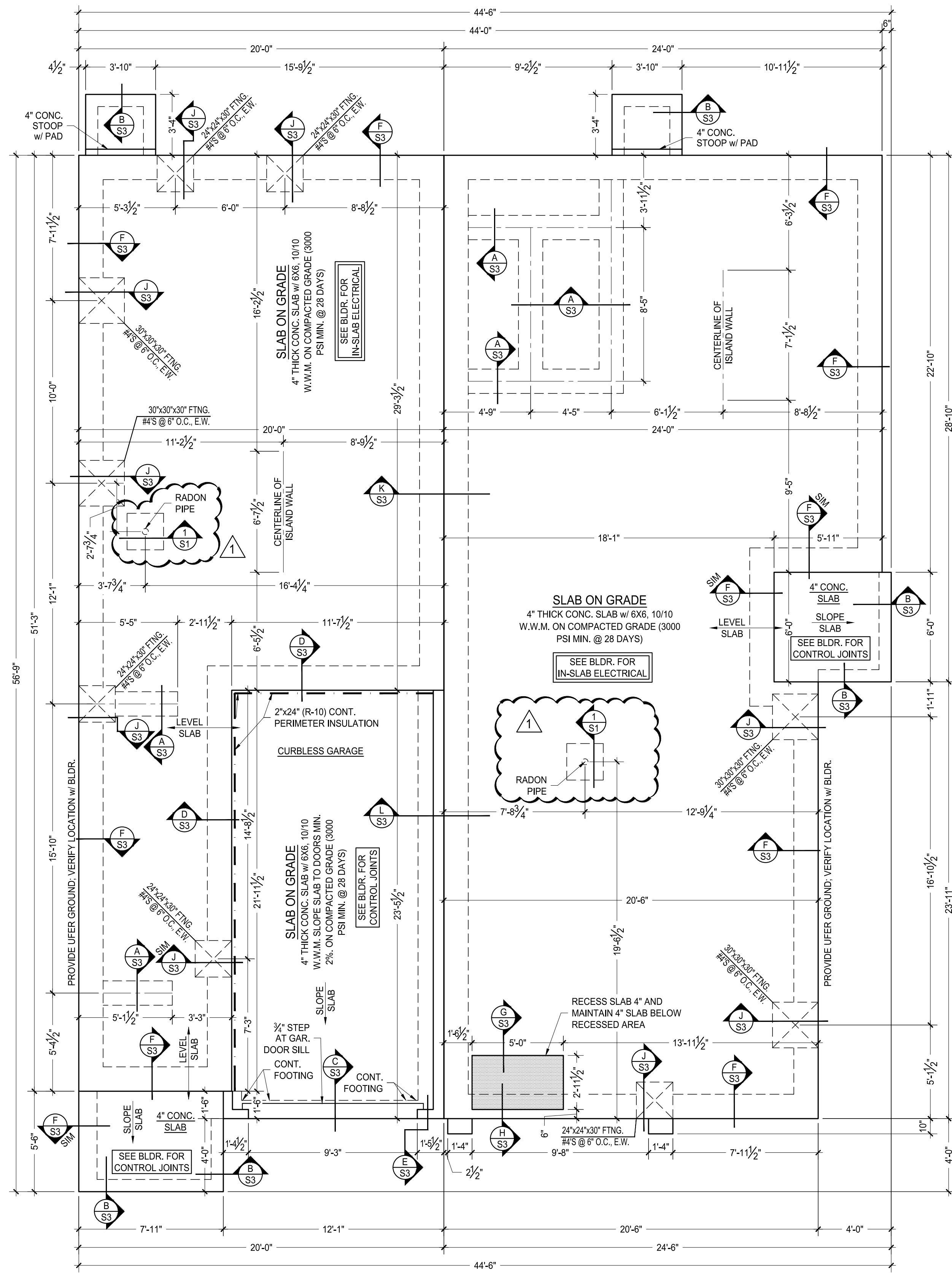
PROJECT ADDRESS:
**929 SHOOLLY ST.
SANTA FE, NEW MEXICO 87505**
CLIENT'S NAME:
MITCH MENAKER

adwelling
DESIGN

DRAWING NAME:
**ISOMETRIC VIEWS
& ROOF PLAN**
PROJECT NAME:
BACA STREET

PROJECT NUMBER:
23-008
PROJECT PROGRESS:
FINAL
DRAWN BY:
ADWELLING
CHECKED BY:
CW / CW
DATE:
10.23.24
SCALE:
AS NOTED
SHEET:

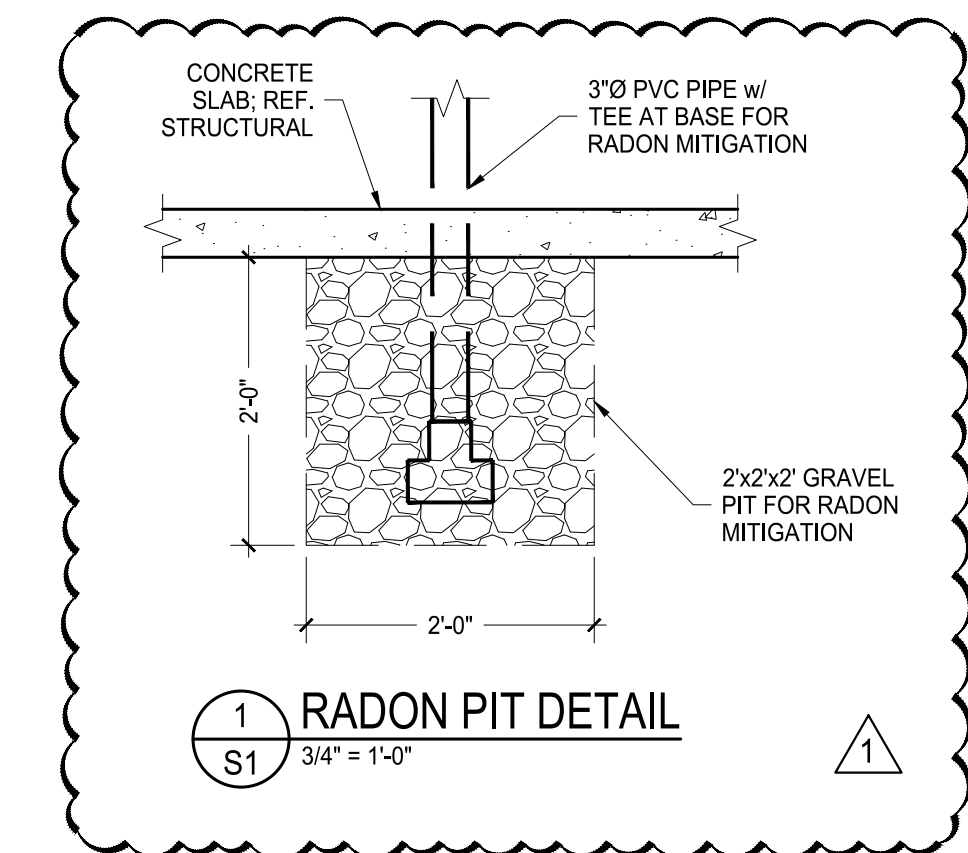
A5
-11 TOTAL SHEETS-



FOUNDATION PLAN
1/4" = 1'-0"

FOUNDATION NOTES

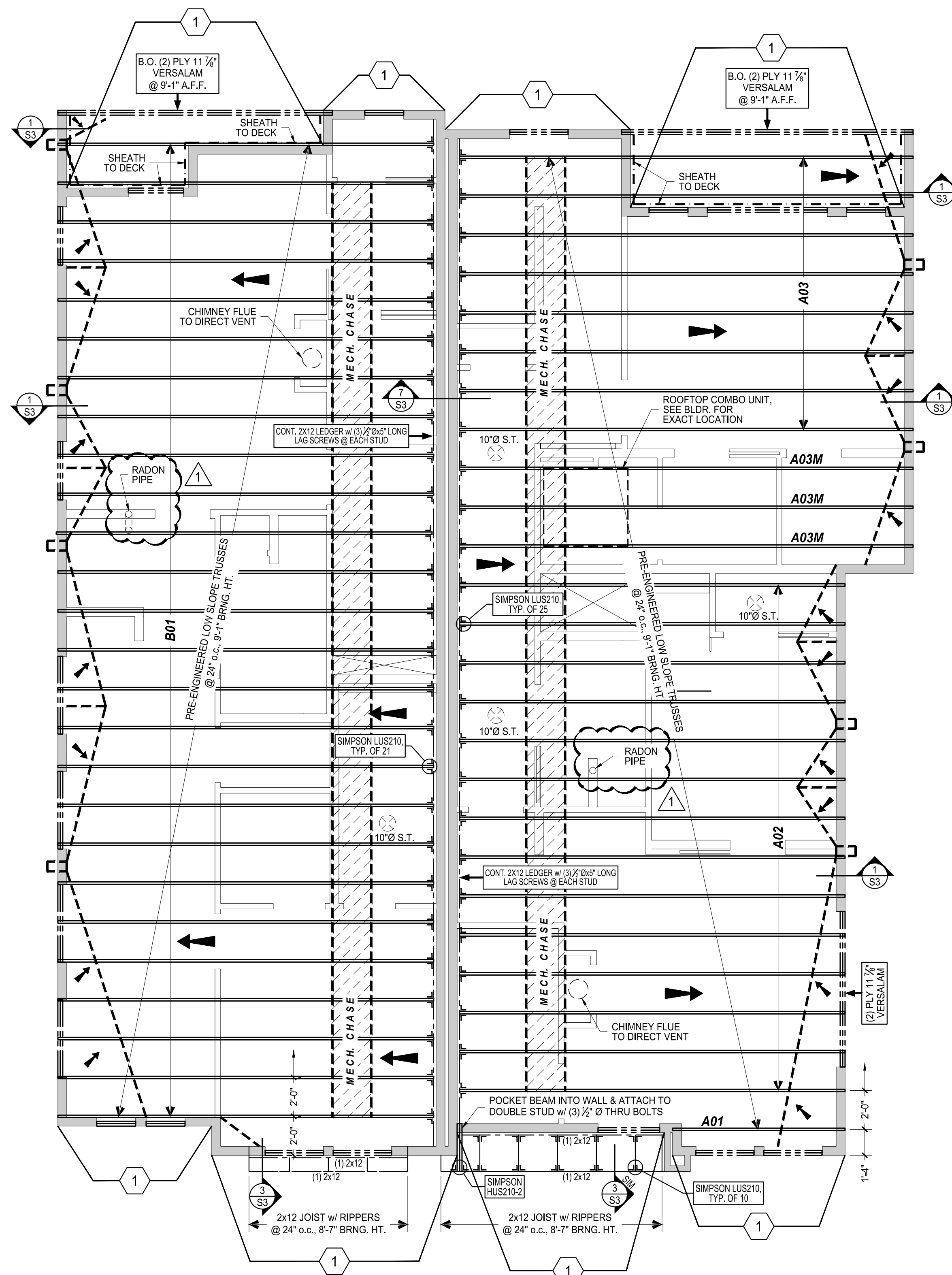
- CONSTRUCTION DOCUMENTS ARE DRAWN ASSUMING SOIL BEARING OF 1500 PSF. IT IS RECOMMENDED THAT THE OWNER AND/OR CONTRACTOR OBTAIN A SOILS REPORT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL CONCRETE WORK COMPLIES WITH THE SOILS REPORT. NOTIFY THE DESIGNER OF ANY PLAN CHANGES NECESSARY TO ACHIEVE SOILS REPORT REQUIREMENTS.
- ALL CONCRETE TO HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS AND BE AIR ENTRAINED PER CODE.
- NEW COMPACTED FILL TO BE FREE OF GRASS AND RUBBISH. NEW SOILS SHALL BE PLACED IN 8" MAX. LIFTS AND COMPACTED TO 95% OF MAXIMUM DENSITY. MINIMUM BEARING 1500 PSF. TEST MAY BE REQUIRED BY LOCAL BUILDING OFFICIALS.
- STEEL REINFORCING BARS ARE TO BE FREE OF RUST, SCALE, OIL AND ICE. STEEL TO CONFORM TO ASTM A-615 GRADE #40, BE FIRMLY TIED AND SUPPORTED WITH CHAIRS OR OTHER APPROVED SUPPORTS AND BE 3" CLEAR OF SOIL.
- ALL REBAR SHALL HAVE MINIMUM 20" LAP SPLICES.
- BOTTOMS OF FOOTING TRENCHES TO BE UNDISTURBED OR COMPACTED TO 95% OF MAXIMUM DENSITY. TEST MAY BE REQUIRED BY LOCAL BUILDING OFFICIALS.
- CONCRETE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL UNDER-SLAB SYSTEMS ARE IN PLACE PRIOR TO POUR.
- ALL EXTERIOR STRUCTURAL FOOTINGS SHALL REST A MIN. OF 24" BELOW GRADE.
- OMIT ALL ANCHOR BOLTS AT DOOR LOCATIONS.
- PROVIDE UFER GROUND, PER CODE.
- SEE BUILDER FOR PREFERRED METHOD OF SOIL GAS MITIGATION.
- INSULATION VALUES:
 - SLAB: MIN R-10, 2"x24" RIGID INSULATION AT PERIMETER OF HEATED SPACE. (Per 14.7.6.12 B(2)(c) 2021 NEW MEXICO RESIDENTIAL ENERGY CONSERVATION CODE)
- CONCRETE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONCRETE WORK MEETS OR EXCEEDS ALL REQUIREMENTS AND/OR APPLICABLE BUILDING CODES. IF PLANS DO NOT MEET THE REQUIREMENT, NOTIFY THE DESIGNER OF ANY CORRECTIONS NEEDED.
- ANCHOR BOLTS TO BE MIN. 1/2"Ø x 10" LONG AND SHALL BE INSTALLED AT 6"Ø C.C. (MAX) AND A MAX. OF 12" FROM CORNERS. MINIMUM (2) BOLTS PER PLATE. THIS SPEC. SHALL BE TYPICAL UNLESS NOTED OTHERWISE IN THE SHEAR WALL SCHEDULE ON SHEET S2.



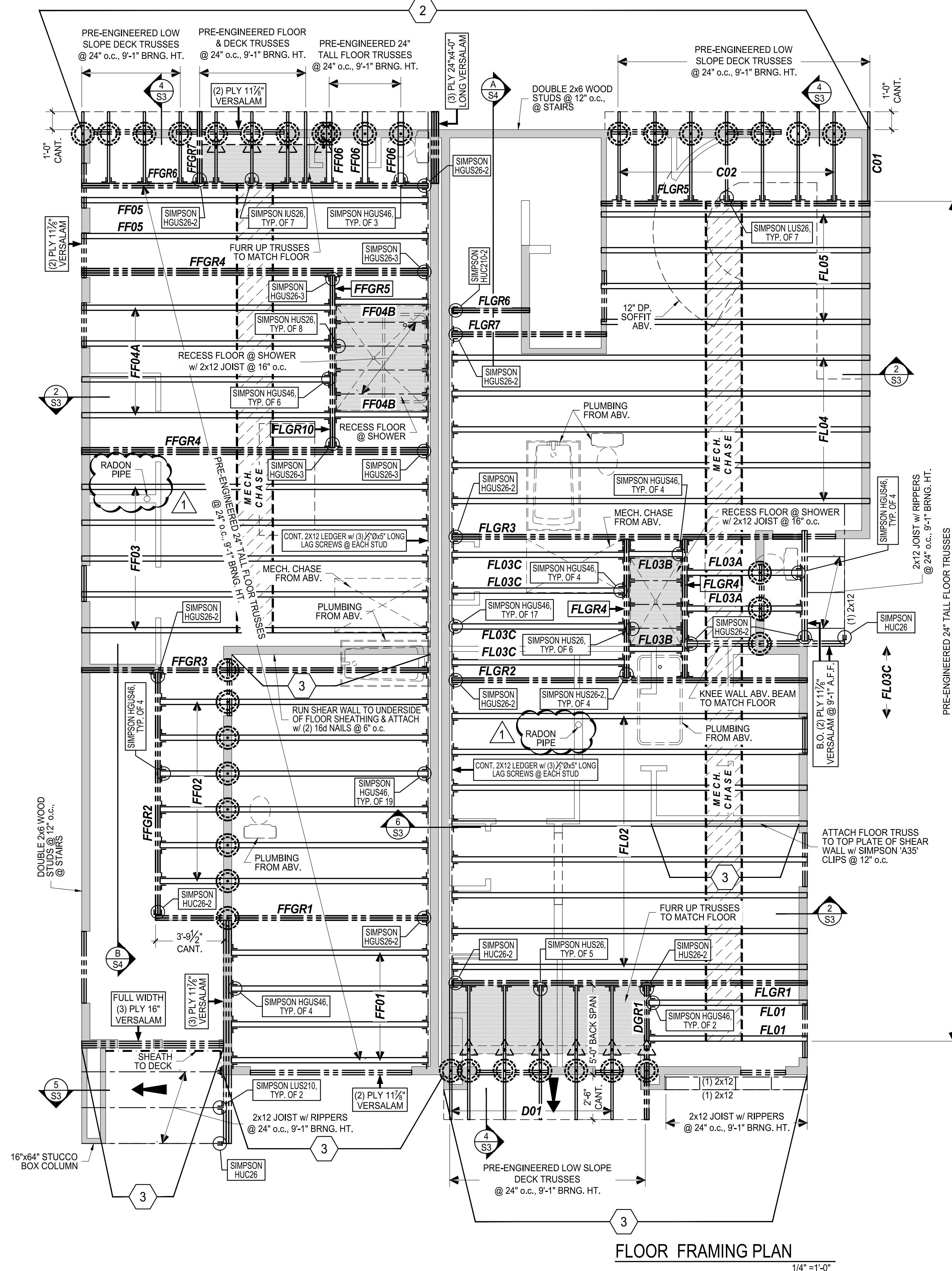
REV. 11/06/2024



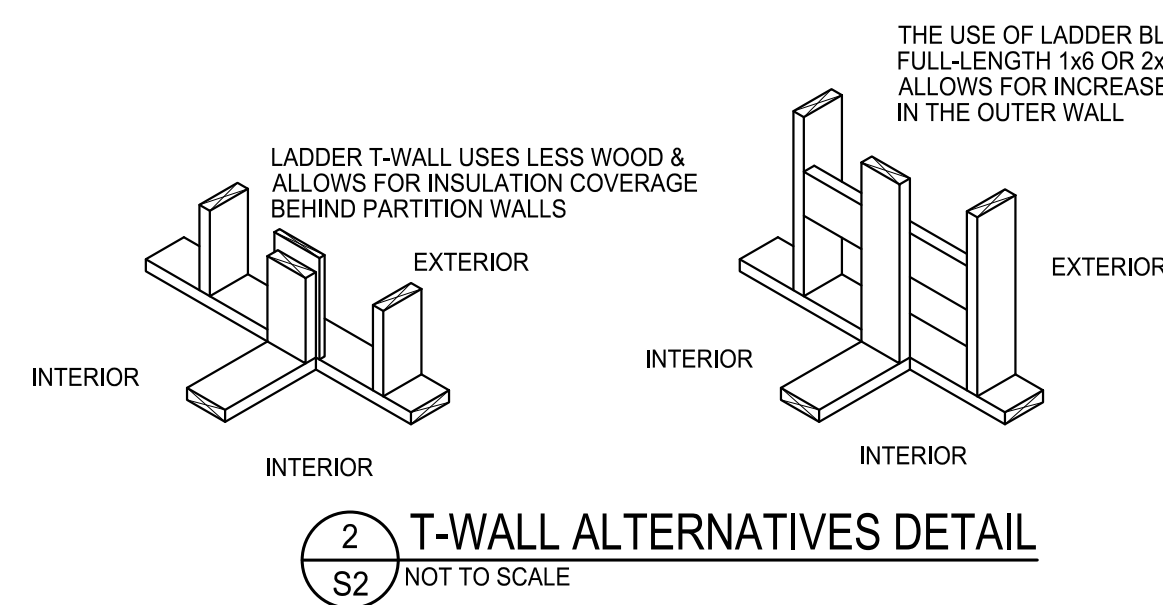
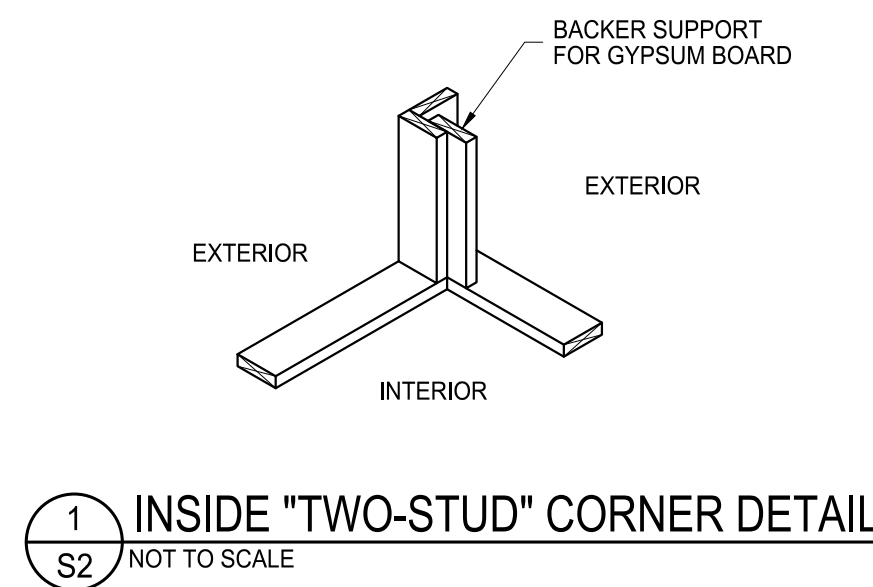
PROJECT ADDRESS: 929 SHOOFLY ST. SANTA FE, NEW MEXICO 87505		CLIENT NAME: MITCH MENAKER
adwelling DESIGN		
DRAWING NAME: FOUNDATION PLAN	PROJECT NUMBER: 23-008	PROJECT NAME: BACA STREET
PROJECT PROGRESS: FINAL	DRAWN BY: ADWELLING	CHECKED BY: CW / CW
DATE: 10.23.24	APPROVED BY:	SCALE: AS NOTED
SHEET: S1		



ROOF FRAMING PLAN
1/4" = 1'-0"



FLOOR FRAMING PLAN
1/4" = 1'-0"



SHEATH ENTIRE EXTERIOR OF HOME WITH 7/16" O.S.B. ATTACH WITH 8d NAILS AT 6" O.C. EDGES AND 12" O.C. FIELD OR WITH 16 GAGE x 1.75" STAPLES AT 3" O.C. EDGES AND 6" O.C. FIELD, UNLESS NOTED OTHERWISE IN SHEAR WALL SCHEDULE BELOW.

SHEAR WALL SCHEDULE	
1	1/4" THICK O.S.B. WITH 8d NAILS @ 4" o.c. @ EDGES AND 12" o.c. IN FIELD. ATTACH SILL PLATES w/ 1/2" Ø x 10" LONG LAG SCREWS @ 30" o.c.
2	1/4" THICK O.S.B. WITH 8d NAILS @ 3" o.c. @ EDGES AND 12" o.c. IN FIELD. ATTACH SILL PLATES w/ 1/2" Ø x 10" LONG ANCHOR BOLTS @ 24" o.c.
3	1/4" THICK O.S.B. WITH 8d NAILS @ 2" o.c. @ EDGES AND 12" o.c. IN FIELD. ATTACH SILL PLATES w/ 1/2" Ø x 10" LONG ANCHOR BOLTS @ 18" o.c. USE DOUBLE STUDS AT PANEL EDGES.

DESIGN LOAD CRITERIA

1. IF LOAD VALUES BELOW DIFFER IN ANY WAY, NOTIFY THE DESIGNER IMMEDIATELY TO ALLOW FOR PROPER RECALCULATION AND / OR RESIZING.

FLAT ROOF (LOW-SLOPE)

LL (TC)	= 25 psf
DL (TC)	= 15 psf
LL (BC)	= 0 psf
DL (BC)	= 10 psf
TOTAL	= 50 psf

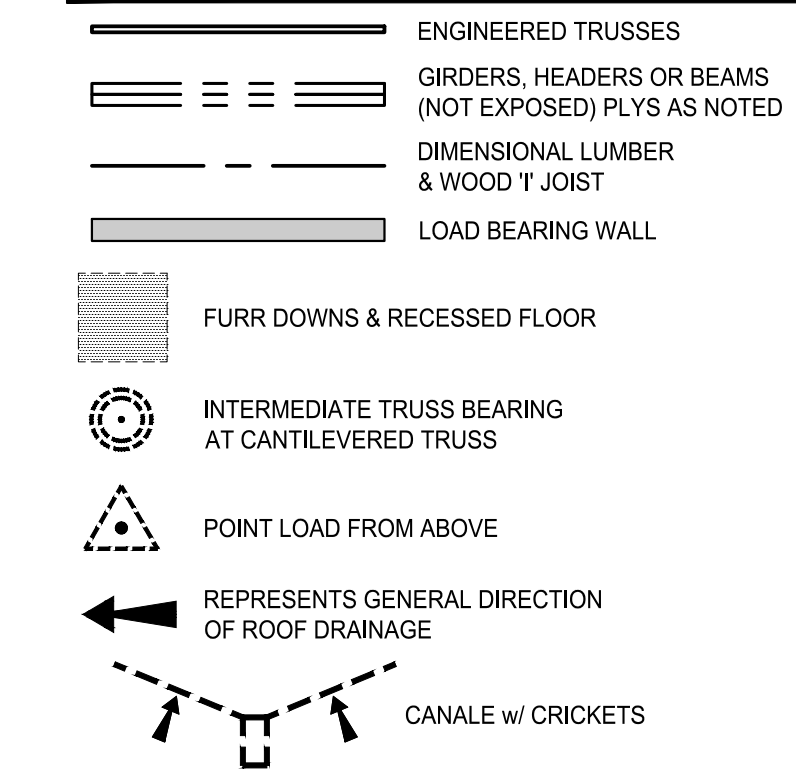
FLOOR LOAD (BASIC LOAD, NO RADIANT HEAT)

LL (TC)	= 40 psf
DL (TC)	= 10 psf
LL (BC)	= 0 psf
DL (BC)	= 10 psf
TOTAL	= 60 psf

DECK LOAD (EXTERIOR)

LIVE LOAD	= 60 psf
DEAD LOAD	= 20 psf
TOTAL	= 80 psf

FRAMING LEGEND



FRAMING NOTES

- ALL HEADERS IN EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS ARE TO BE DBL. 2x12s SPF # 1 / 2 (OR BETTER) UNLESS OTHERWISE SPECIFIED.
- SHEATH ENTIRE EXTERIOR OF HOME WITH 7/16" O.S.B. ATTACH WITH 8d NAILS AT 6" O.C. EDGES AND 12" O.C. FIELD OR WITH 16 GAGE x 1.75" STAPLES AT 3" O.C. EDGES AND 6" O.C. FIELD, UNLESS NOTED OTHERWISE IN SHEAR WALL SCHEDULE.
- ANCHOR INTERIOR WALLS TO CONCRETE SLAB WITH POWER DRIVEN RAMSET DEVICES OR RED-HEADS OR APPROVED NAILS @ 32" O.C. MAX.
- EXTERIOR WALLS: 2x6 STUDS AT 16" ON CENTER UNLESS NOTED OTHERWISE.
- INTERIOR WALLS: 2x4 STUDS AT 16" ON CENTER, EXCEPT AS NOTED ON PLAN FOR THICKENED WALLS. ALL PLUMBING WALLS SHALL BE 2x6 AS NOTED. WALL AT GARAGE/HOUSE SEPARATION TO BE 2x6'S @ 16" O.C., UNLESS NOTED OTHERWISE.
- SEE PLAN FOR LOCATION OF ALL COLUMNS.
- ALL WOOD TO BE 6" (MINIMUM) ABOVE ADJACENT GRADE.
- PROVIDE SIMPSON 'H2.5' HURRICANE TIES AT ALL TRUSS OR JOIST TO TOP PLATE CONNECTIONS (NOT EXPOSED).
- PROVIDE FIREBLOCKING AT ALL WALLS EXCEEDING 10'-0" IN HEIGHT.
- PROVIDE BLOCKING IN WALLS AT ALL CABINET LOCATIONS.
- BUILDER SHALL CONFIRM THAT ADEQUATE TRANSFER OF LOADS IS PROVIDED FOR ALL BEAMS, HEADERS AND GIRDERS. LOADS SHALL TRANSFER DOWN DIRECTLY TO FOUNDATION BELOW AND ALL AREAS SHALL BE BLOCKED AND SUPPORTED AS REQUIRED.
- PROVIDE DOUBLE TRIMMERS AND DOUBLE FULL HEIGHT STUDS AT ALL VERSALAM HEADERS AND AT HEADERS LARGER THAN (2 ply) 2x12s, UNLESS NOTED OTHERWISE.
- ALL VERSALAM SHALL BE 1 3/4" THICK, 2.0 3100SP SERIES AND ALL PLYS SHALL BE CONNECTED PER MFR. SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- INSTALL ALL SIMPSON STRONGTIE CONNECTORS PER MFR. SPECS, OR AS SPECIFIED BY ENGINEER.
- FRAMING CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK MEETS OR EXCEEDS ALL REQUIREMENTS AND/OR APPLICABLE BUILDING CODES. IF PLANS DO NOT MEET THIS REQUIREMENT, NOTIFY THE DESIGNER OF ANY CORRECTIONS NEEDED.

TRUSS NOTES

- GIRDER TRUSS NOTE: VERIFY (w/ TRUSS MFR.) EXACT QUANTITY OF PLYS OF EACH GIRDER TRUSS PRIOR TO CONSTRUCTION OF ROOF FRAME.
- VERIFY LOCATION OF HVAC w/ BUILDER.
- BUILDER AND TRUSS MFR. SHALL FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION OF TRUSSES.
- SEE BUILDER FOR MINIMUM TRUSS HEIGHT TO ACCOMMODATE DUCT RUNS.

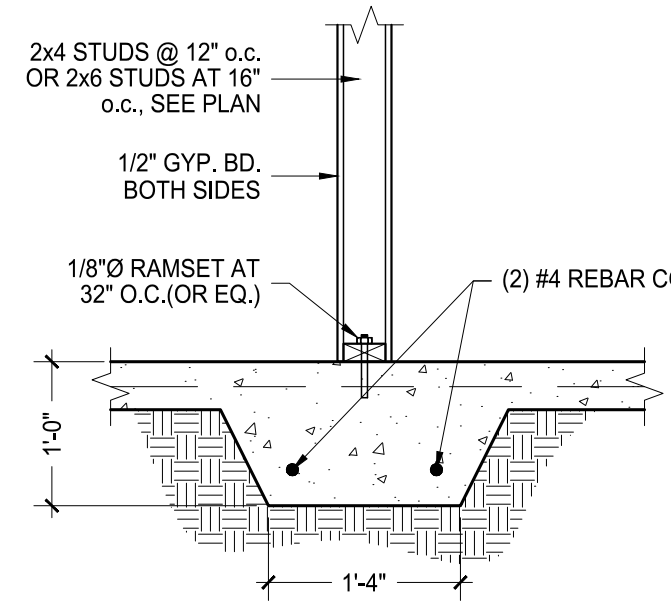
PROJECT ADDRESS: 929 SHOOFLY ST. SANTA FE, NEW MEXICO 87505
CLIENT NAME: MITCH MENAKER

adwelling DESIGN

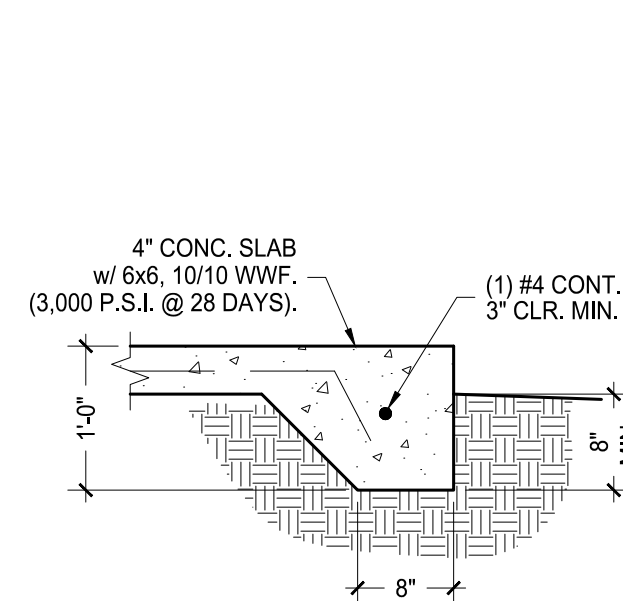
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PROJECT NUMBER: 23-008
PROJECT PHASE: FINAL
DRAWN BY: ADWELLING
CHECKED BY: CW / APPROVED BY: CW
DATE: 10.23.24
SCALE: AS NOTED
SHEET: S2

11 TOTAL SHEETS

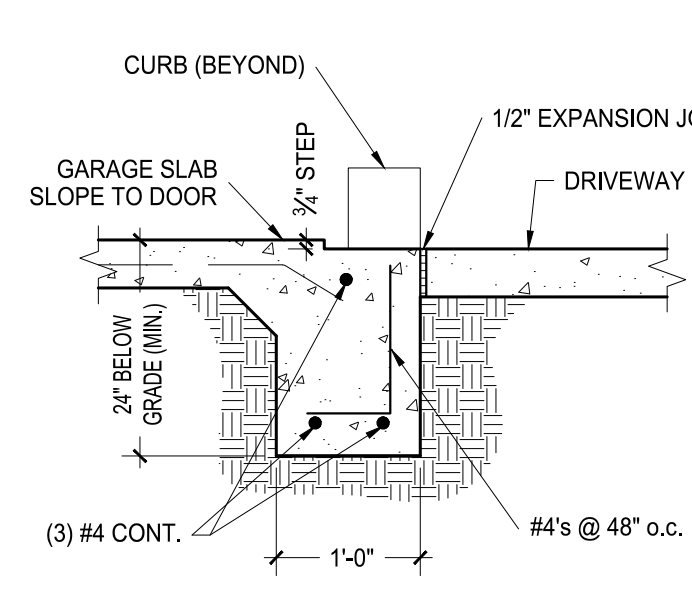
REV. 11/06/2024



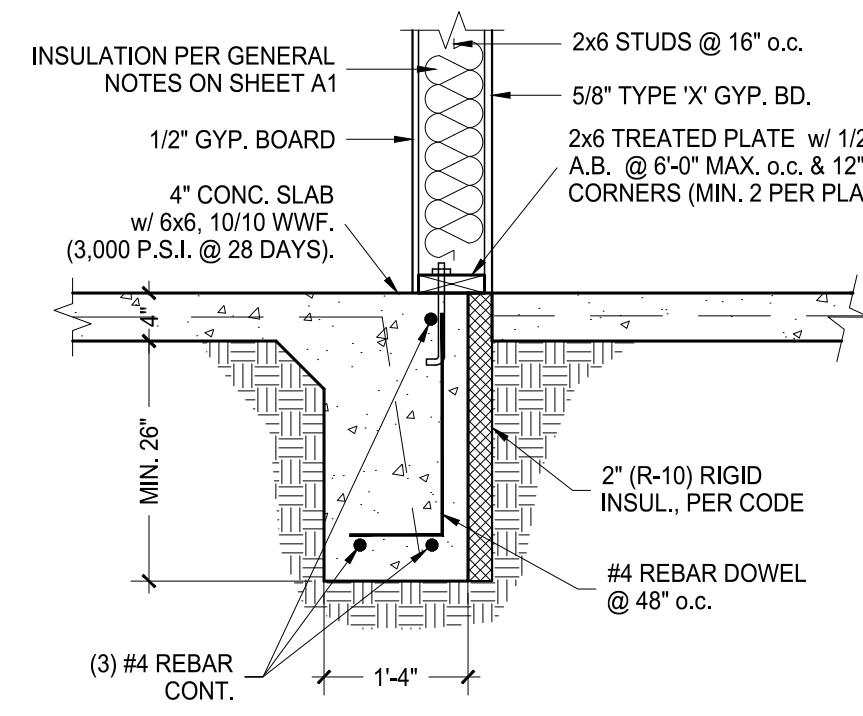
A THICKENED SLAB
S3 3/4" = 1'-0"



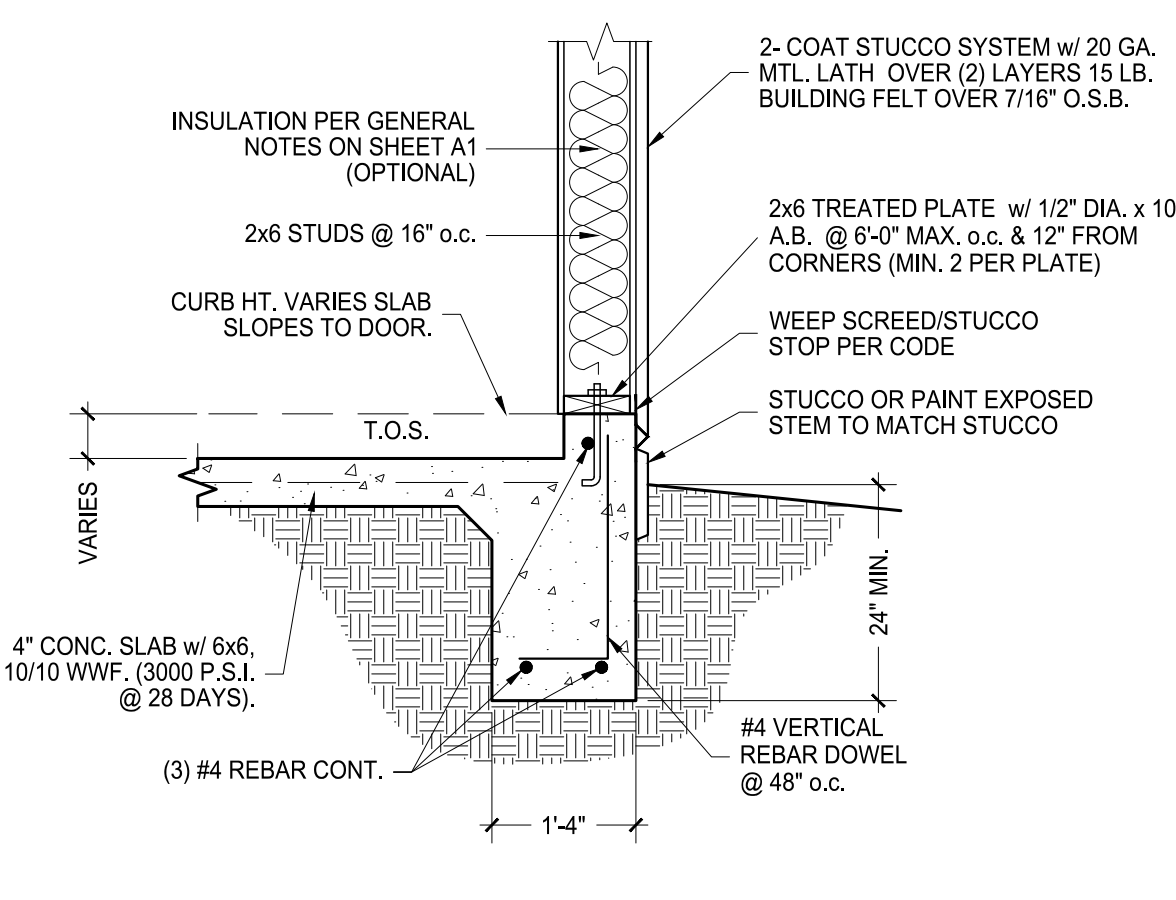
B SLAB EDGE
S3 3/4" = 1'-0"



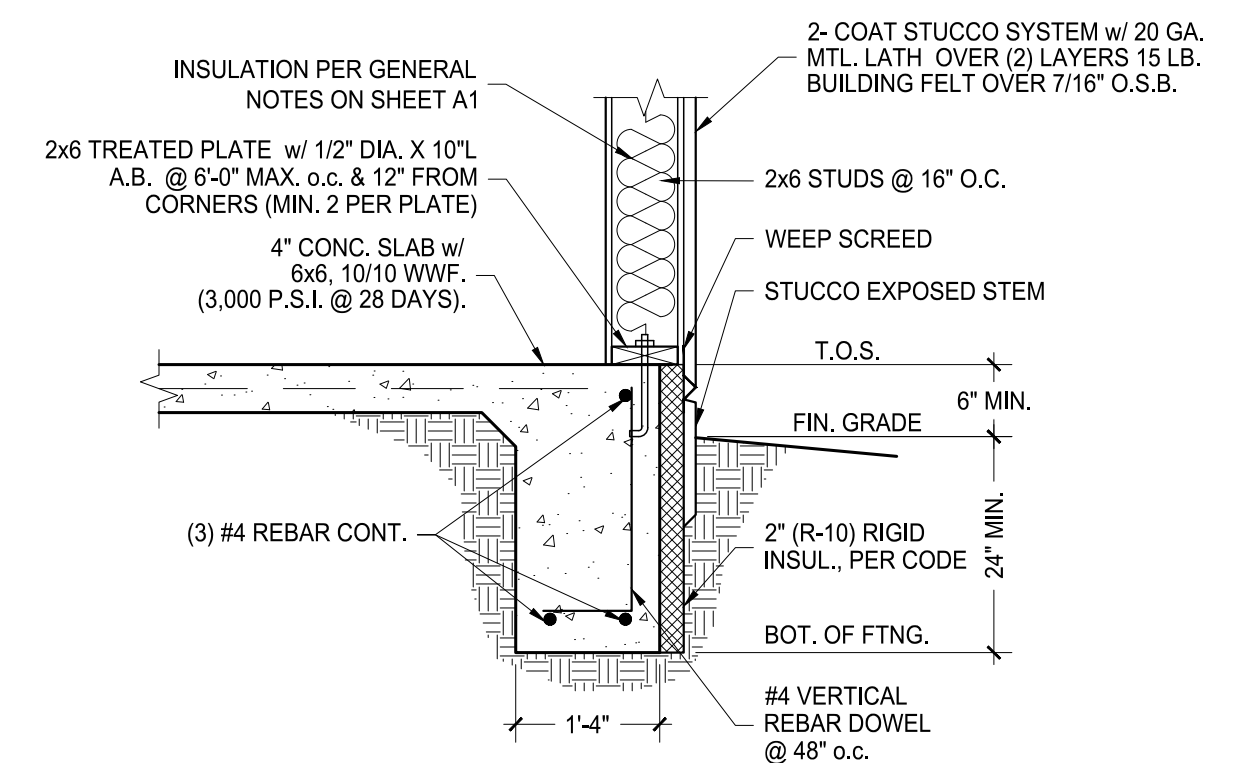
C GARAGE DOOR SILL
S3 3/4" = 1'-0"



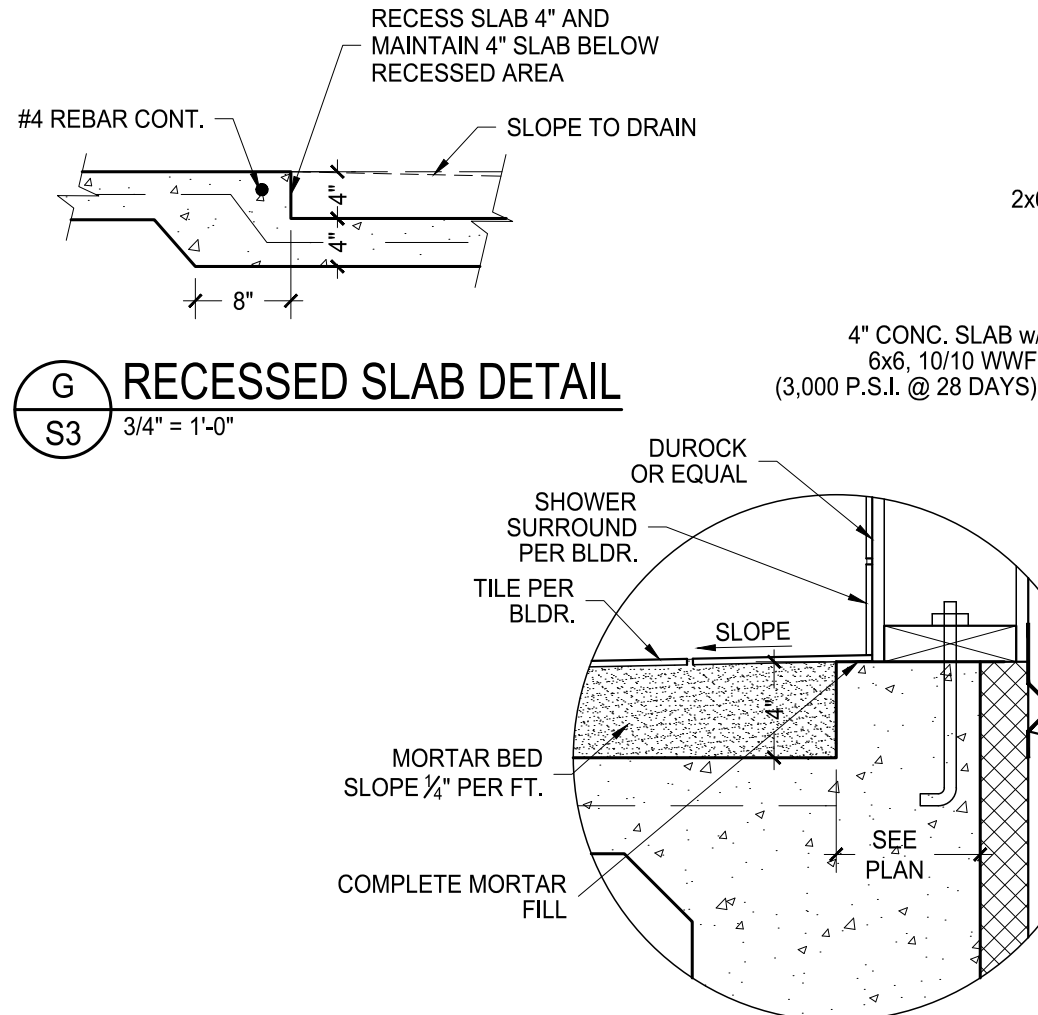
D GARAGE TO HOUSE (CURBLESS)
S3 3/4" = 1'-0"



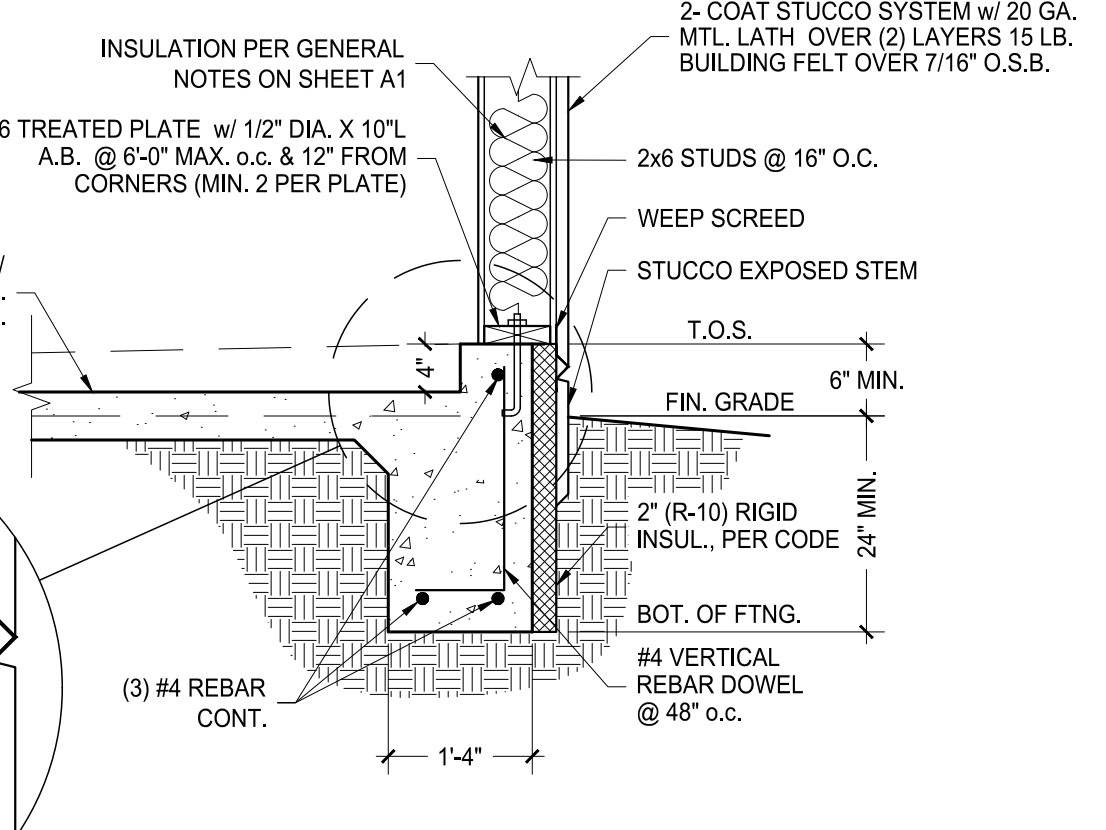
E GARAGE CURB
S3 3/4" = 1'-0"



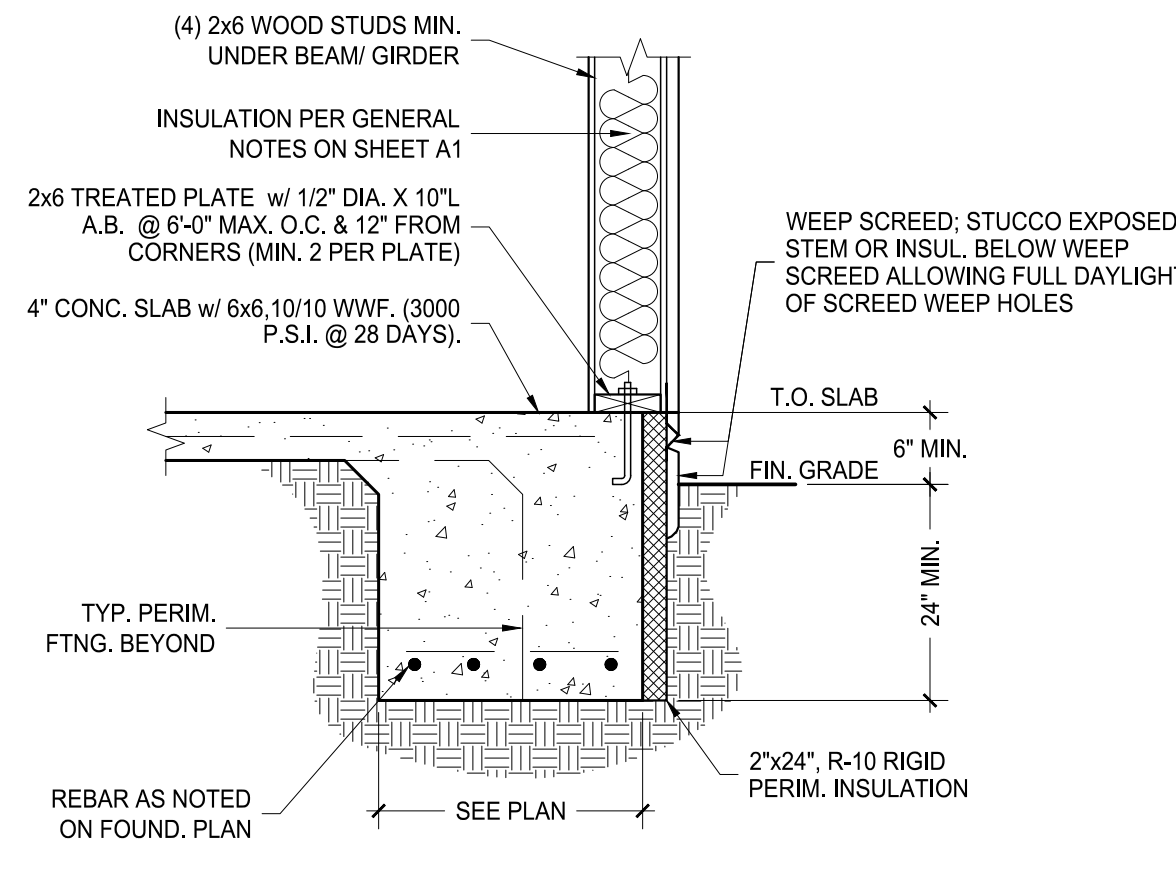
F TYP. EXTERIOR FOOTING
S3 3/4" = 1'-0"



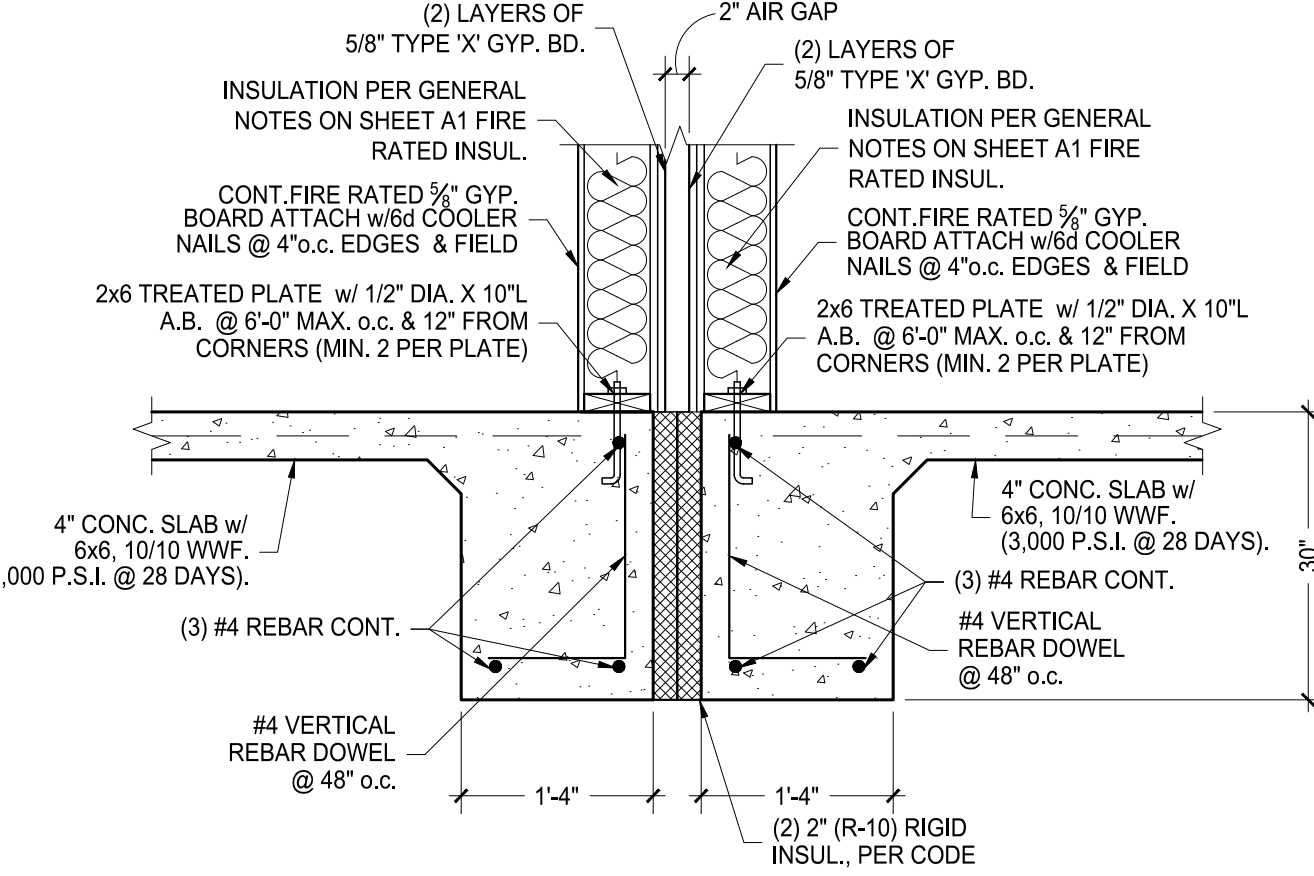
G RECESSED SLAB DETAIL
S3 3/4" = 1'-0"



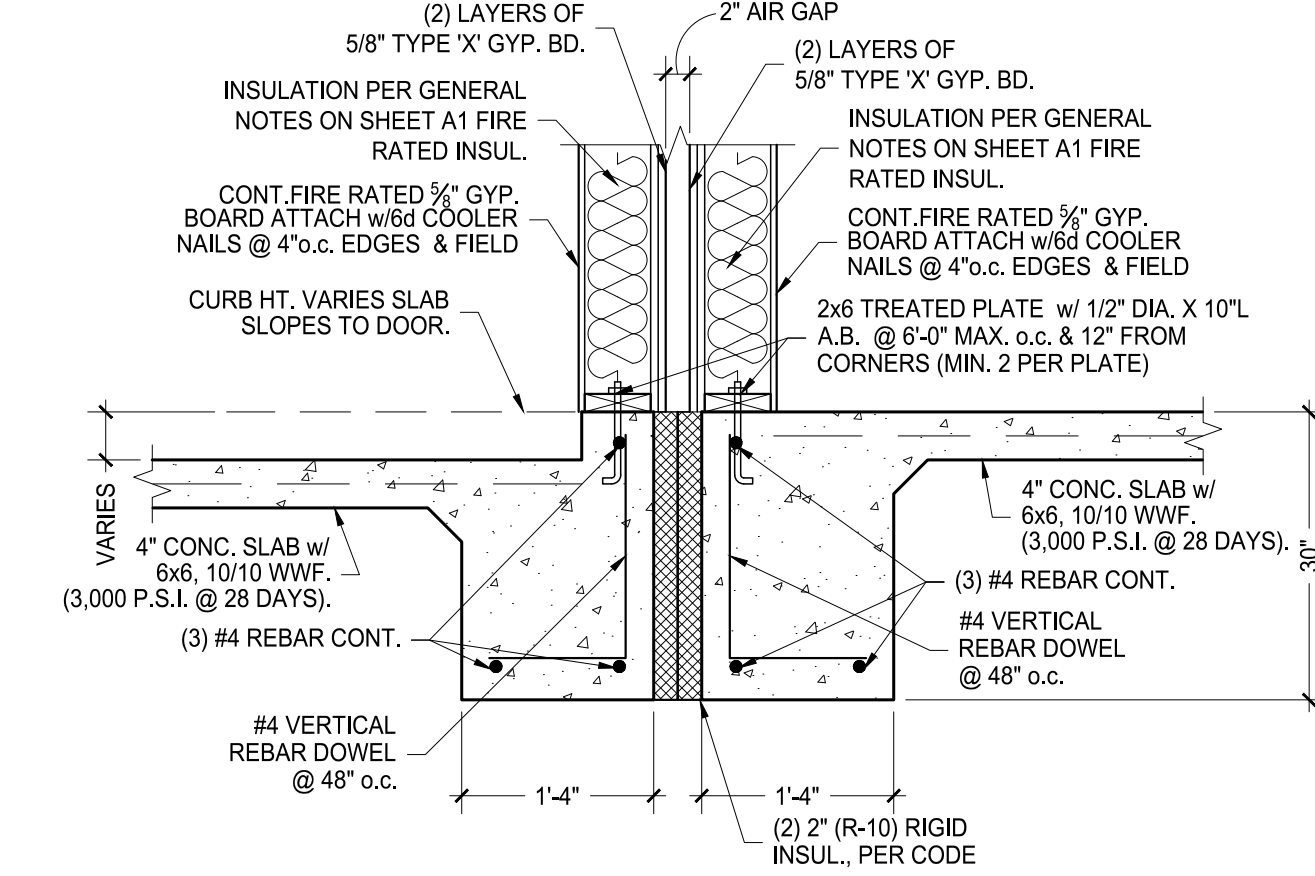
H EXTERIOR FOOTING @ RECESSED SHOWER
S3 3/4" = 1'-0"



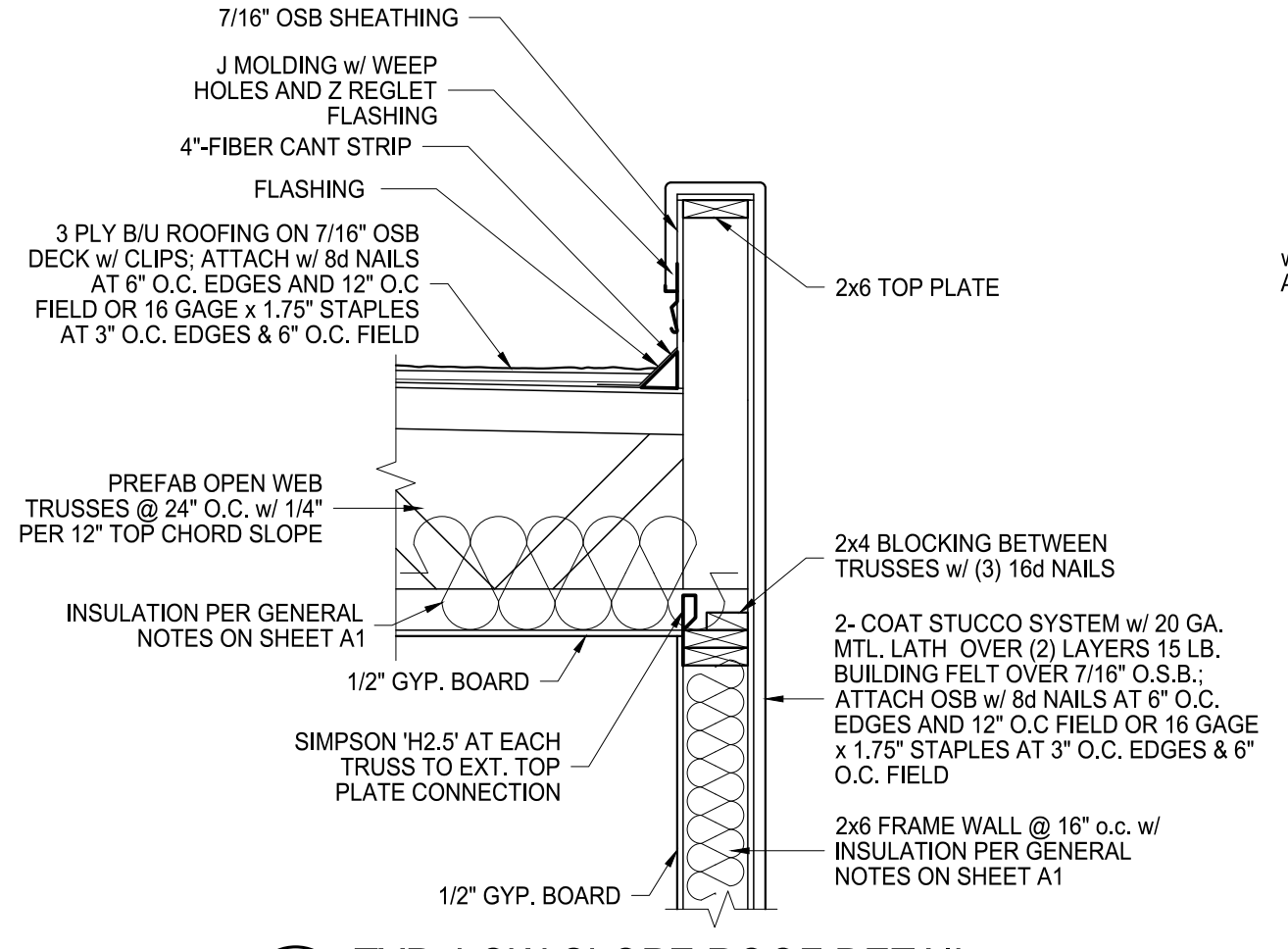
J PERIM SPOT FTNG. DET'L AT HEATED
S3 3/4" = 1'-0"



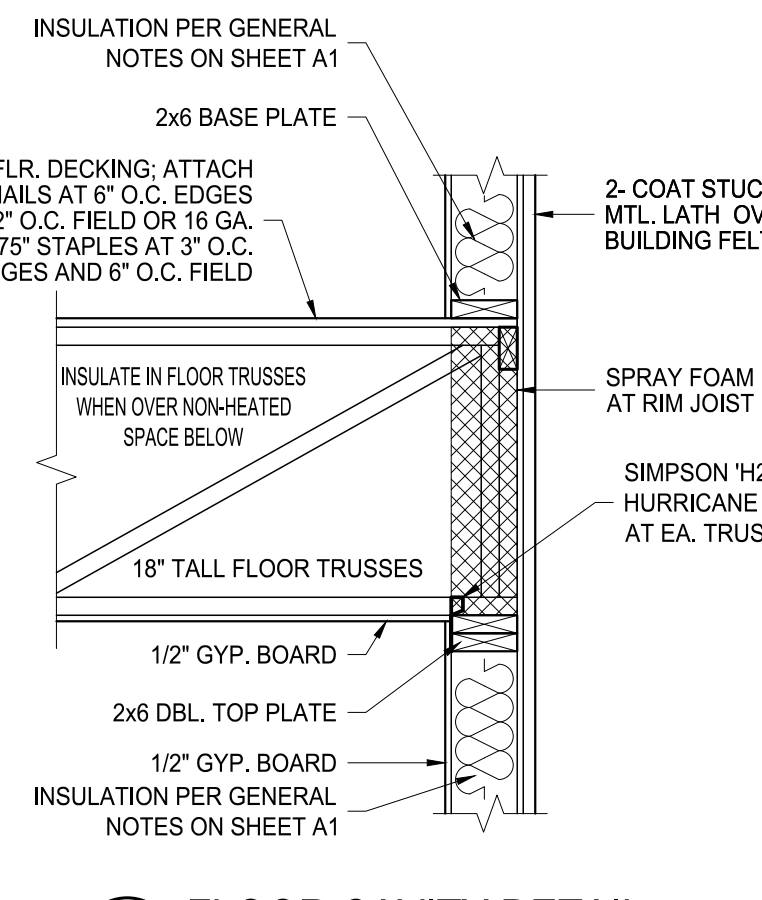
K FOOTING @ PARTY WALL
S3 3/4" = 1'-0"



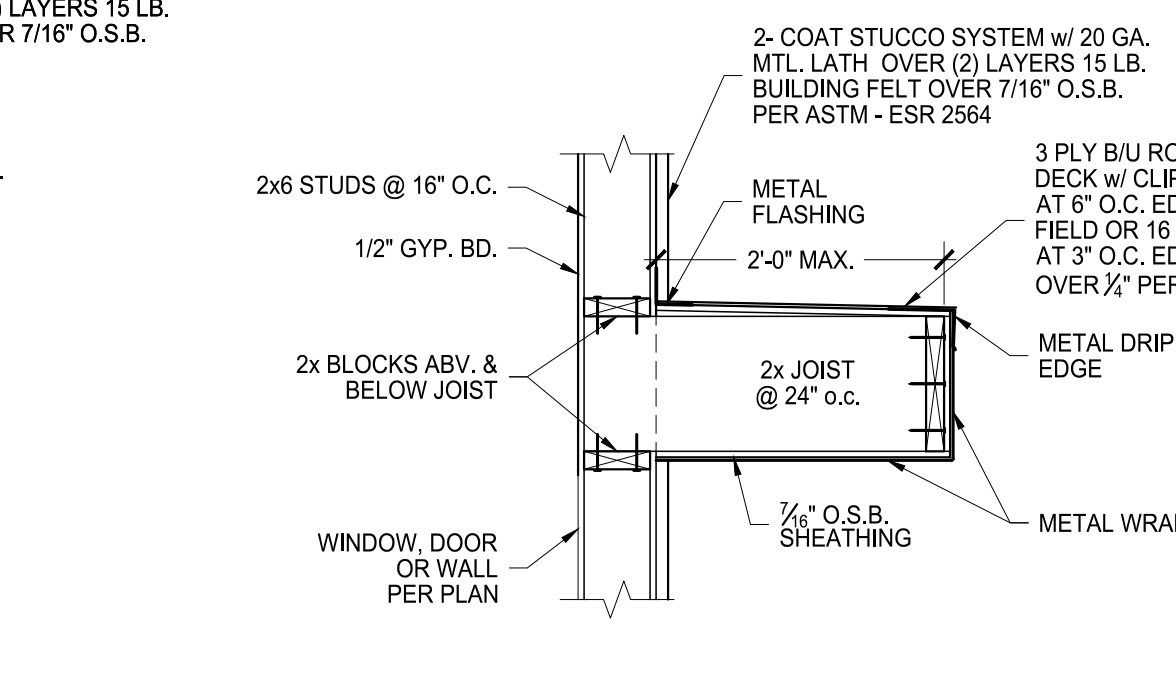
L GARAGE TO HOUSE FOOTING @ PARTY WALL
S3 3/4" = 1'-0"



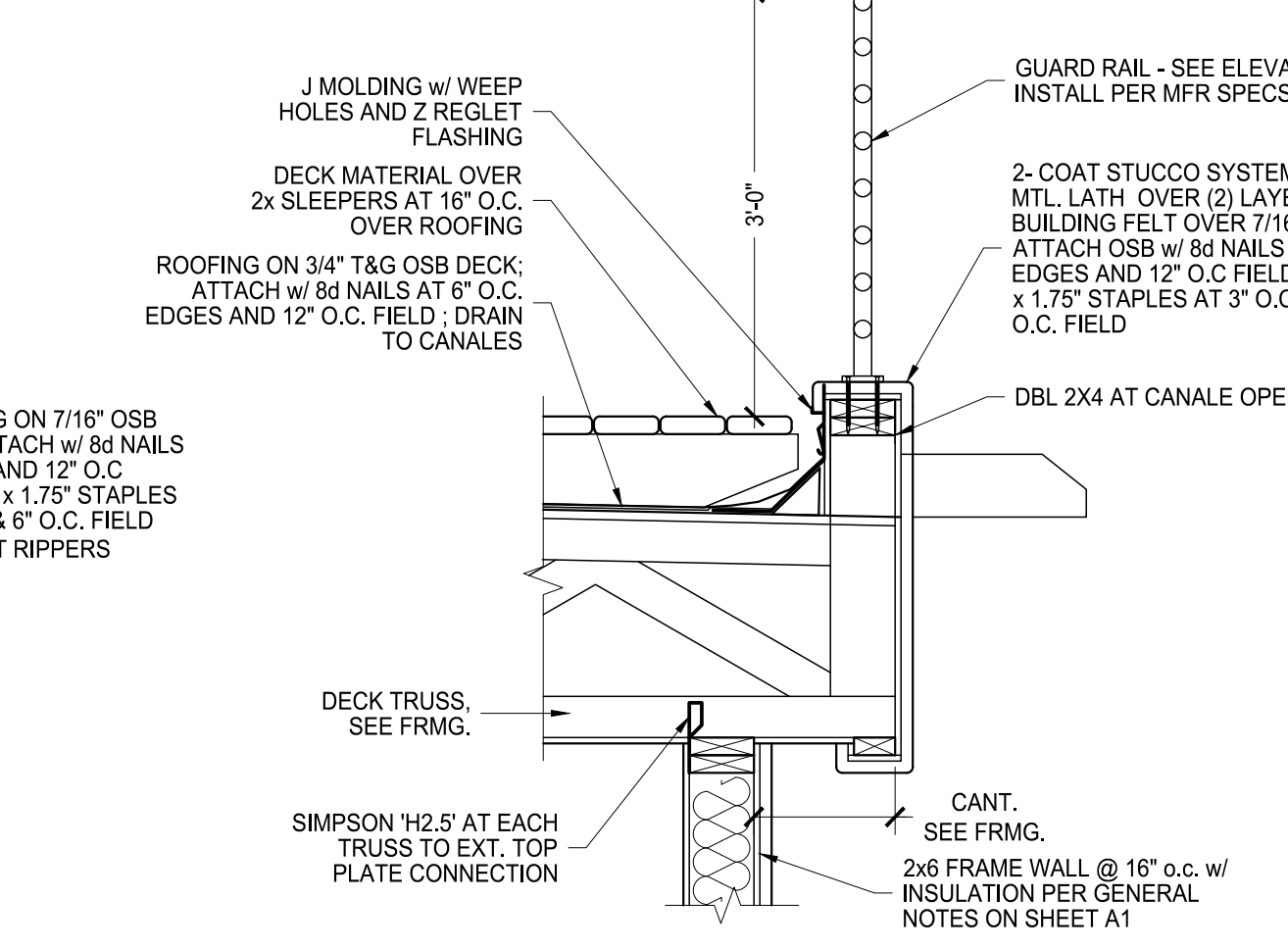
1 TYP. LOW-SLOPE ROOF DETAIL
S3 3/4" = 1'-0"



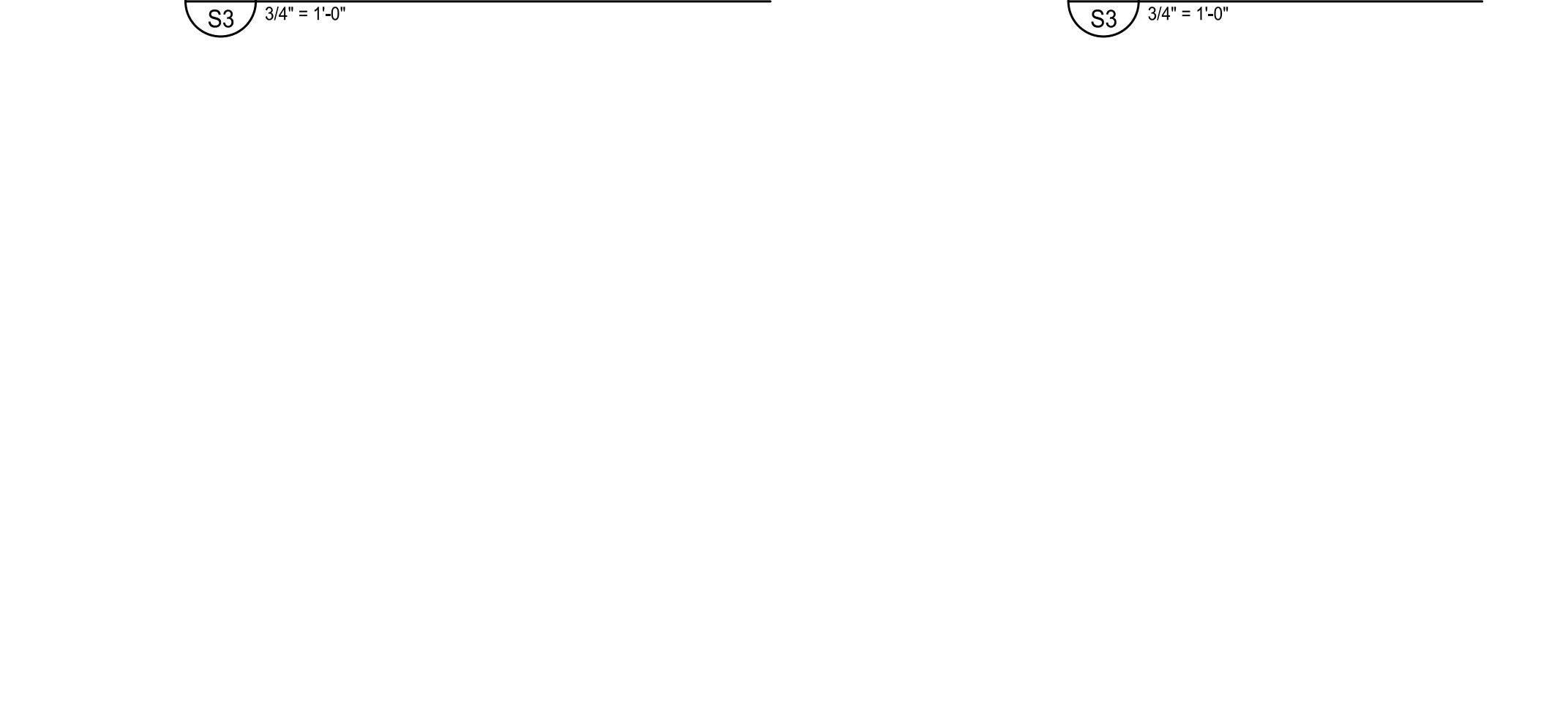
2 FLOOR CAVITY DETAIL
S3 3/4" = 1'-0"



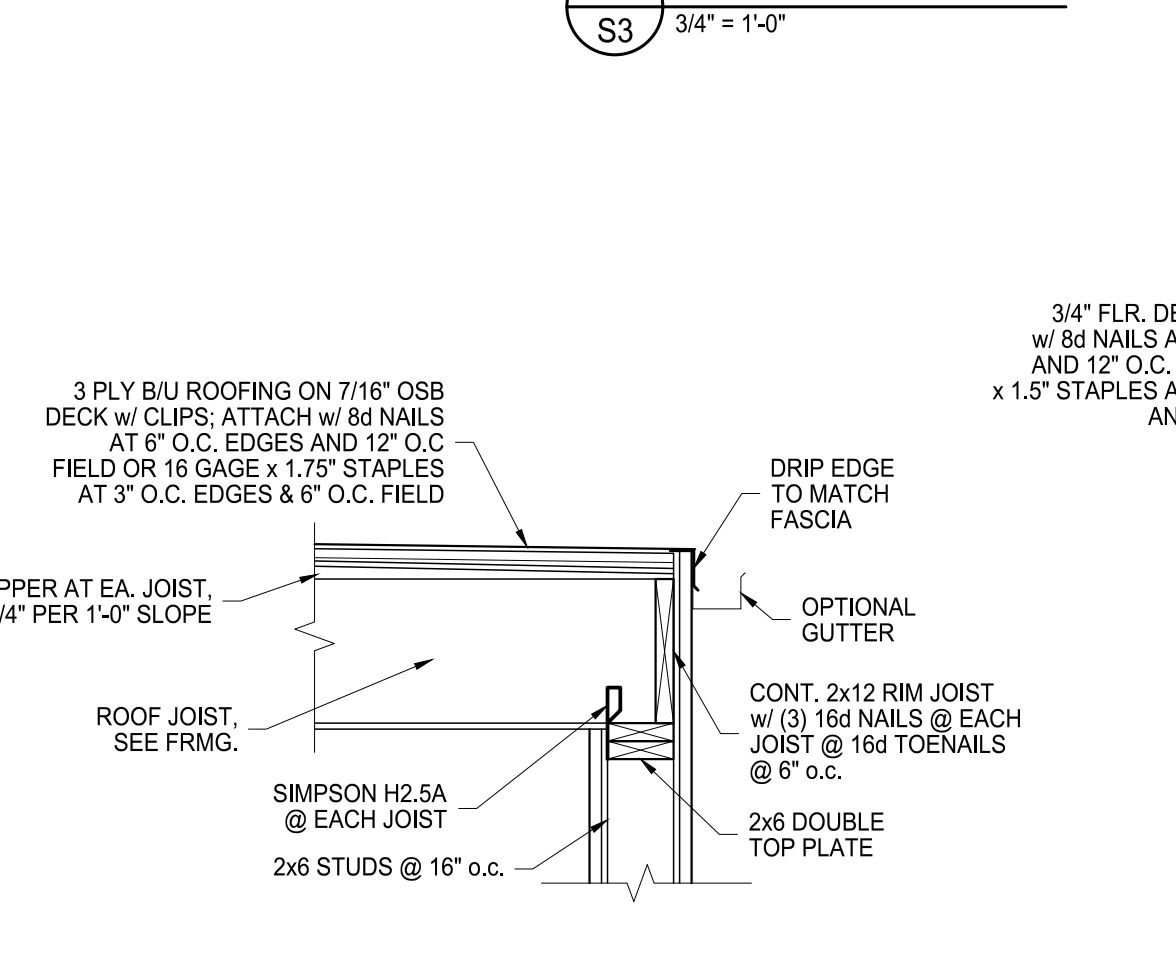
3 OVERHANG DETAIL
S3 3/4" = 1'-0"



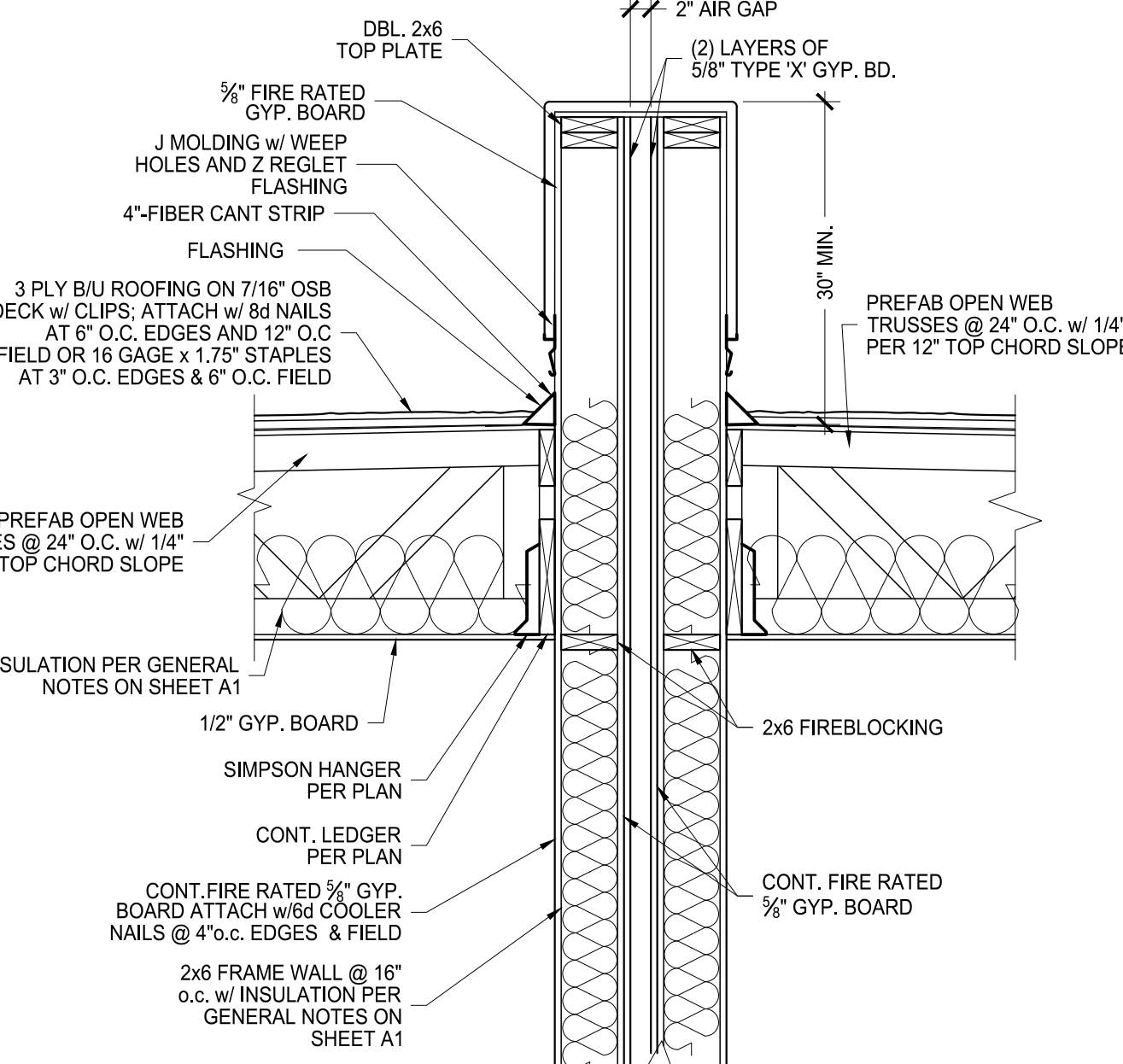
4 LOW-SLOPE PORCH/ ROOF DECK DETAIL
S3 3/4" = 1'-0"



5 LOW-SLOPE PORCH DETAIL
S3 3/4" = 1'-0"



6 FLOOR CAVITY DETAIL @ PARTY WALL
S3 3/4" = 1'-0"



7 LOW SLOPE ROOF DETAIL @ PARTY WALL
S3 3/4" = 1'-0"



PROJECT ADDRESS: 929 SHOOFLY ST. SANTA FE, NEW MEXICO 87505
CLIENT NAME: MITCH MENAKER

adwelling DESIGN

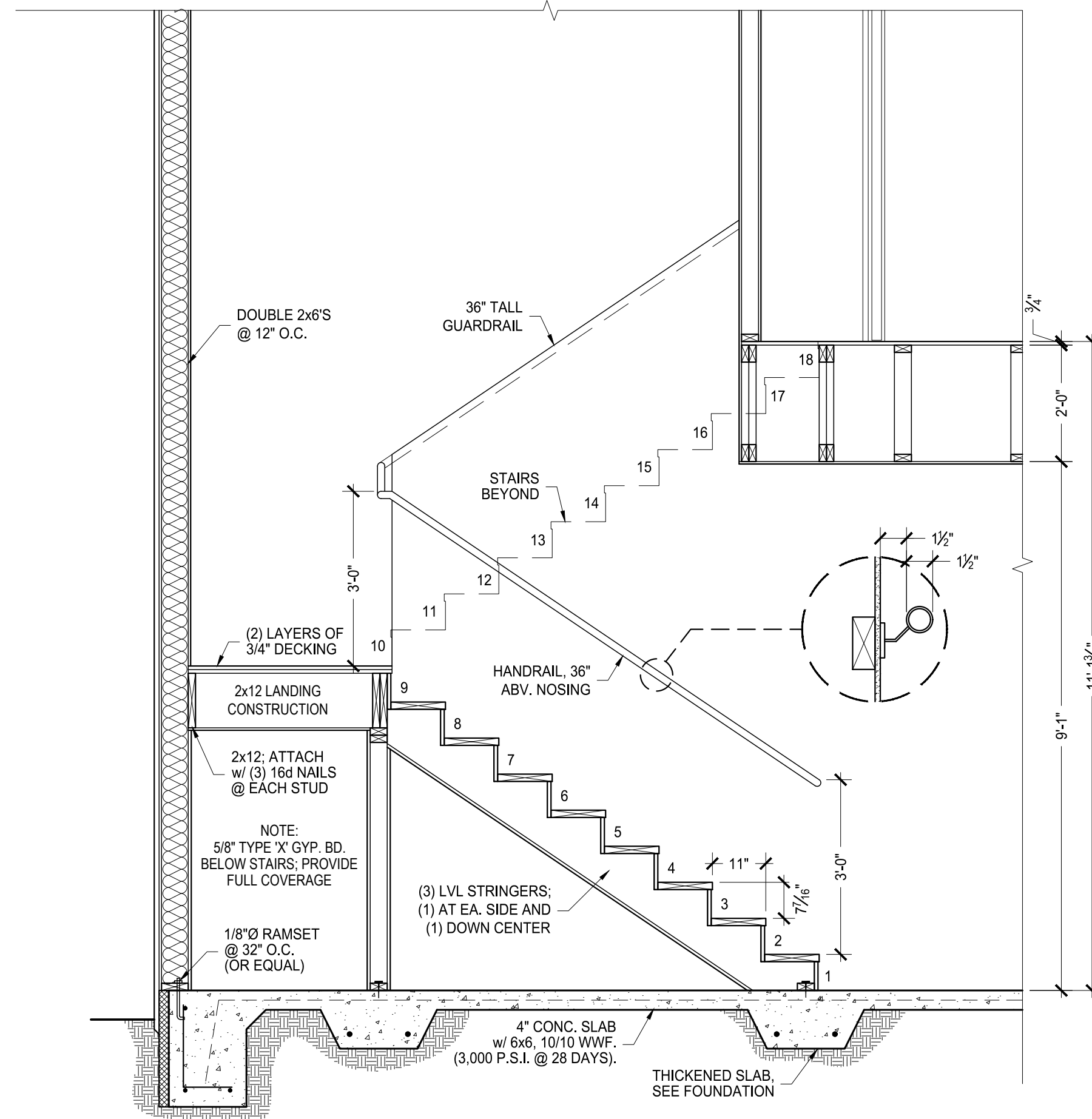
STRUCTURAL DETAILS

BACA STREET

PROJECT NUMBER: 23-008
PROJECT PROGRESS: FINAL
DRAWN BY: ADWELLING
CHECKED BY: CW / APPROVED BY: CW
DATE: 10.23.24
SCALE: AS NOTED
SHEET: S3

-11 TOTAL SHEETS-

1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTAINING TO THEIR RESPECTIVE DISCIPLINES.
2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.



STAIR NOTES

1. 5/8" TYPE X GYP UNDER STAIRS
2. (3) LVL STRINGERS 2 EACH SIDE TO BE NAILED OFF AT SIDE WALLS.
3. THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS THAN 34" NOR MORE THAN 38" ABOVE NOSING OF TREADS.
4. ENDS OF HANDRAILS SHALL BE RETURNED OR HAVE ROUNDED TERMINATION'S OR BENDS.
5. THE HAND GRIP PORTION OF HANDRAILS SHALL BE BETWEEN 1 1/2" & 2" IN CROSS SECTION DIMENSIONS.
6. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT MORE THAN 1 1/2" BETWEEN THE WALL & HANDRAIL.
7. TREADS MUST HAVE A SLIP RESISTANT FINISH.
8. PROVIDE FIREBLOCKING BETWEEN THE STAIR STRINGERS AT TOP AND BOTTOM OF RUN.

STAIR CALCULATIONS

FLOOR TO FLOOR HEIGHT: 9'-1" PLATE HT.
 24" TALL FLR. TRUSSES
 3/4" FLR. DECKING
 11' 1 3/4" FLR. TO FLR. HEIGHT
 11' 1 3/4" / 18 RISERS = 7 7/16"
 (18) TOTAL RISERS AT 7 7/16" TALL
 (17) TREADS AND LANDINGS

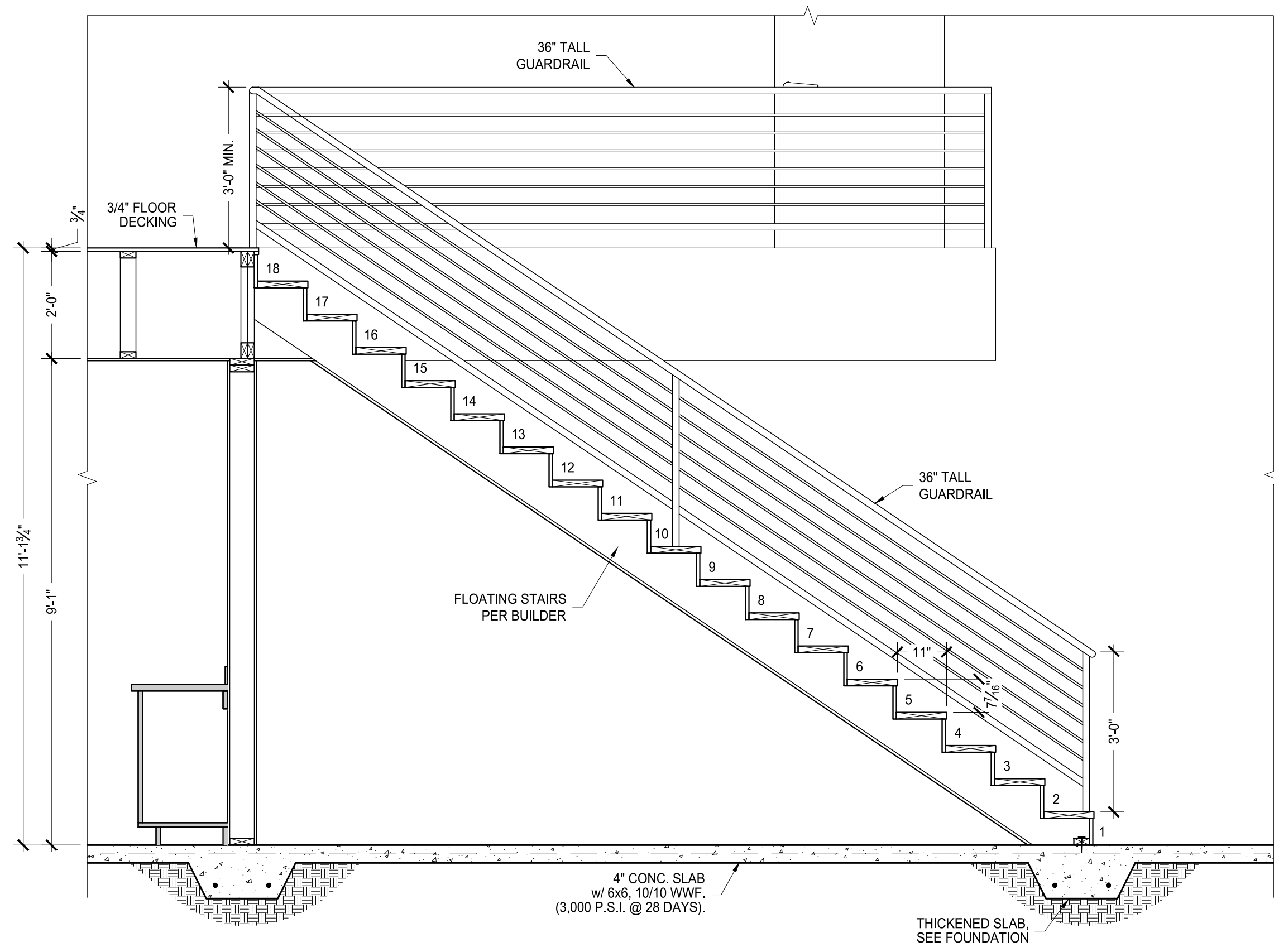
A TYP. STAIR DETAIL
 S4 1/2" = 1'-0"

STAIR NOTES

1. 5/8" TYPE X GYP UNDER STAIRS
2. (3) LVL STRINGERS 2 EACH SIDE TO BE NAILED OFF AT SIDE WALLS.
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STAIR CALCULATIONS

FLOOR TO FLOOR HEIGHT: 9'-1" PLATE HT.
 24" TALL FLR. TRUSSES
 3/4" FLR. DECKING
 11' 1 3/4" FLR. TO FLR. HEIGHT
 11' 1 3/4" / 18 RISERS = 7 7/16"
 (18) TOTAL RISERS AT 7 7/16" TALL
 (17) TREADS AND LANDINGS



B TYP. STAIR DETAIL
 S4 1/2" = 1'-0"



1. THIS SET OF DRAWINGS EXISTS AS A WHOLE. IT IS THE SOLE RESPONSIBILITY OF EACH CONTRACTOR INVOLVED IN THE PROJECT TO REVIEW THESE DRAWINGS AS SUCH. EACH SHEET MAY CONTAIN WORK PERTINENT TO THEIR RESPECTIVE DISCIPLINES.
 2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REPRODUCTION, SCALING THE DRAWING TO VERIFY OR OBTAIN DIMENSIONS IS NOT RECOMMENDED.

PROJECT ADDRESS:
929 SHOOFLY ST.
SANTA FE, NEW MEXICO 87505
 CLIENT'S NAME:
MITCH MENAKER

adwelling
 DESIGN

DRAWING NAME:
STAIR SECTIONS
 PROJECT NUMBER:
23-008
 PROJECT PROGRESS:
FINAL
 DRAWN BY:
ADWELLING
 CHECKED BY: **CW** / APPROVED BY: **CW**
 DATE:
10.23.24
 SCALE:
AS NOTED
 SHEET:
S4

-11 TOTAL SHEETS-

